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I. INTRODUCTION

The Standards are organized similarly to the Secretary of the Interior's Standards and are intended to be used jointly with this document and with the City of College Station's Unified Development Ordinance.

The Standards are principles or guidelines that are intended to protect the historic character of the neighborhood. The priorities for protection are based upon features that were identified by the survey team as significant and by the neighborhood as desirable to maintain. The Standards protect the character by requiring the preservation of certain features and materials and by guiding the design of additions and new construction to be appropriate. Ultimately, the Standards will be interpreted by the Landmark Commission as part of their review process.

Section 2: District Map: The map documents the contributing and non-contributing properties within the district. Contributing properties are those properties that make a positive contribution to the historic character of the neighborhood, or have the potential to do so.

Section 3: Architectural Style Guide: The Style Guide is intended as a quick reference that summarizes the character defining features associated with each style that is found within the district in summary form. The style and potential style of each property can be found in the Designation Report for the district. This Guide is meant to be used with more detailed style guides.

Section 4: Standards for Rehabilitation: The Standards address existing historic features and materials and their repair and replacement as well as alterations to these elements. The Standards focus on the retention and protection of the historic fabric of the neighborhood. Making a determination as to whether an element is historic or not is necessary before applying these Standards.

The Standards define "protected" facades, typically the front and side street façades plus a distance of five feet along the side yard. A "protected" façade is one that should be preserved and not altered or covered by an addition. The bulk of the standards apply to these "protected" facades. However, the entire building is part of the review process and any preservation work, alteration or addition to any part of the site or building must be appropriate.

Section 5: Standards for Additions and New Construction: The Standards address the appropriateness of the development of property within the district with respect to site standards for hardscape and landscape features and the placement of additions and

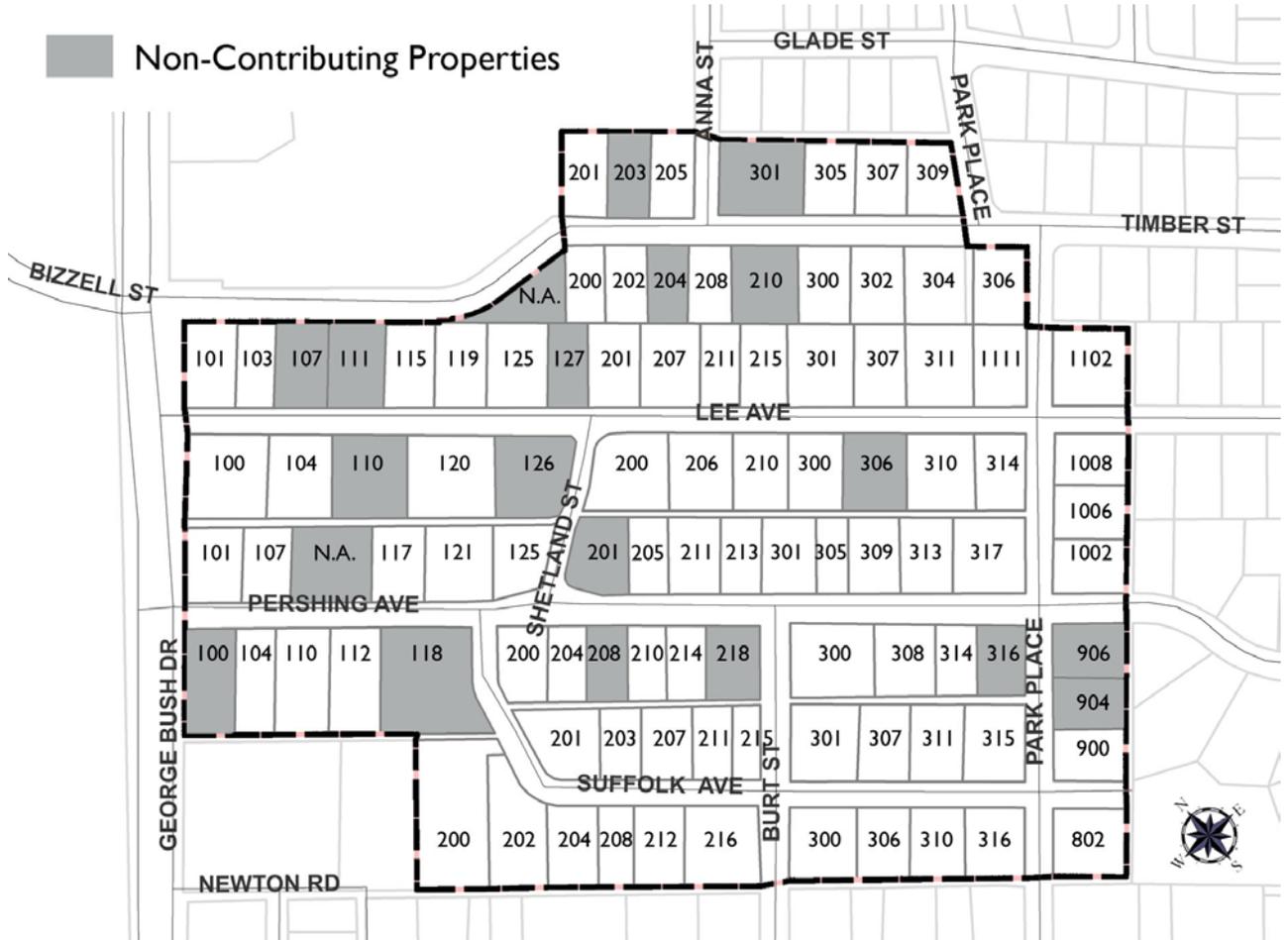
new construction and the appropriateness of new design to a contributing property in the neighborhood.

Section 6: Standards for Non-Contributing Properties: The Standards for non-contributing properties are the same as for new construction; changes to these properties must be appropriate to the character of the neighborhood. There are no specific standards governing non-contributing properties as these properties are not protected by this ordinance and can be demolished and replaced by more appropriate new construction.

Section 7: Definitions: The definitions of architectural terms and terms used in the Standards are provided here.

Section 8: Appendix: the Appendix provides the Secretary of the Interior's Standards for Rehabilitation and reference and resource materials for convenient reference. Note that the Standards' references and resource materials listed are subject to revision and reprinting.

2. DISTRICT MAP



3. ARCHITECTURAL STYLE GUIDE

Architectural style is the overall appearance of a definite type of architecture, distinguished by special characteristics and ornament. The style names provided or commonly used to describe distinct architectural styles have several sources: reference to historical or political periods (Colonial or Victorian), descriptive of the building or house itself (Minimal Traditional), a building's heritage (Folk or Vernacular), or its form (Split-Level or Shed). Regardless of a house's particular architectural style, understanding its style is an important first step to not only appreciating it, but critical when considering modifications to the house. The most successful modifications are those that compliment the house's style instead of subjugating or fighting it.

Revival styles are based on historical styles, some of which occurred centuries or even millennia ago. Examples of such include Neoclassical Revival, which is loosely based on and incorporates elements from ancient Greek and Roman architecture and Colonial Revival, which incorporates building forms and elements from the American Colonial Era of the 1600s to 1776. Some building's architectural style cannot be classified due to the uniqueness of the house; this includes homes that do not incorporate any traditional elements or form or are considered "transitional," with one style bleeding into another. Houses that have suffered major alterations that disguise the original style and newer buildings are also difficult to classify. The classification process benefits from perspective as well as time for review and consideration for new styles—it can take several decades for this process to reach completion and a style to be named.

While several style guides were referenced in the preparation of this document, *A Field Guide to American Houses*, by Virginia & Lee McAlester, remains the best source for residential stylistic information. A list of other useful style guide resources can be found in the Appendix.

The most widely used architectural styles found in the Oakwood neighborhood are described on the following pages. Please note that the years in which each style was commonly used in the United States are shown next to the style name.

The map that follows identifies each property within the district by its style.

MAP BY ARCHITECTURAL STYLE



3.1 REVIVAL STYLES

Oakwood features many grand-scale houses in revival styles, with generous setbacks and treed lots. Many are excellent examples of their styles.

A. COLONIAL REVIVAL (1880-1955)

The Philadelphia Centennial Exposition of 1876 is credited with first influencing American architects to look towards the country's own architectural roots for inspiration. Based on the straightforward design of 17th and 18th century residential architecture, Colonial Revival houses are defined by their simple form and decorative detailing.

One of the more common styles in College Station, these houses are typically rectangular in plan, one- to two-stories tall, have steep side-gabled roofs, dormers, minimal eaves, and may include a front porch supported by classical columns. One story side wings that are either open or enclosed also occur. Colonial Revival facades are often symmetrical with equal numbers of windows on either side of the centrally-located door.

Small entry porches consisting of an extended triangular or flat pediment supported on slender columns are common, but a decorative surround at the entrance is also found.

Colonial Revival houses are known for their accentuated front doors which often have a decorative pediment, pilasters, fanlights, sidelights. Typical pediment shapes include flat, triangular, arched, and broken. While front doors are normally centrally-located on the front façade, many examples of the style in College Station have entrances that are off-center.

Wooden double-hung sash windows with multi-pane glazing, usually of 4-over-4 or 6-over-6, are typical. Windows can occur in adjacent pairs and usually have wooden shutters.

Typical roofing materials are slate and wood shingles. Most wood shingle roofing has now been replaced with composition shingles.

Exterior materials include horizontal wood siding, wooden shingles, or brick.



TYPICAL COLONIAL REVIVAL HOUSE



ONE-AND-A-HALF STORY EXAMPLE



TYPICAL WINDOW



FRONT DOOR WITH FAN LIGHT, SIDE LIGHTS, AND PORCH



DOOR WITH PEDIMENT

B. NEOCLASSICAL REVIVAL (1895-1950)

Neoclassical Revival, also referred to as Classical Revival, was a popular style for domestic architecture during the first five decades of the 20th century. This renewed interest in classical architectural models came out of the 1893 World's Columbian Exposition in Chicago which had a classical theme.

Rectangular in plan, these one- to two-and-a-half-story houses have symmetrically balanced front façades dominated by full-height colonnaded porches. Roofs are typically hipped or side-gabled. Dormers and one-story side extensions are also common.

Entry porches are either centered over the front door or extend the full width of the front façade. Porches are rectangular or semi-circular in shape. These roofs are extended flat or triangular pediments supported on columns. Columns can be fluted or un-fluted and typically have Corinthian or Ionic capitals. Square columns with simple capitals are also common.

Elaborate and decorative door surrounds with pilasters, pediments, and side-lights are typical. Common pediment types include triangular, semi-circular, broken, and flat. Doors should be wooden and can have a small amount of glazing divided into rectangular lights.

Wooden double-hung sash windows with multi-pane glazing, usually of 6-over-1, 6-over-6, 9-over-1, or 9-over-9, are typical.

Wood shingles are the most common roofing material. Most wood shingle roofing has now been replaced with composition shingles.

Exterior materials include horizontal wood siding or brick.



NEOCLASSICAL REVIVAL HOUSE



NEOCLASSICAL REVIVAL COTTAGE

C. TUDOR REVIVAL (1890-1940)

When first utilized in the United States, the Tudor Revival style was used for large, architect-designed residences, which copied historic English examples. These were in turn copied for use on more modest homes in the 1920's and 1930's. This style was quite popular as it worked well for both small and large houses. A variety of decorative elements make for an endless variety of Tudor Revival examples.

Both small and large examples are non-symmetrical in form and have steep side-gabled roofs, prominent cross gables, tall and narrow windows, dormers, cast stone trim, and small to no overhangs. Uniquely designed chimneys are common and they often have ornamental chimney pots. Smaller examples of the style are considered to be picturesque cottages.

Front entries have small to minimal porches and are often located under their own smaller steep gable.

Doors typically have simple designs and are often made out of heavy wood. Arched doorways are common and have either rounded or flattened Tudor arches.

Wood or metal casement and wood double-hung windows are typical and often arranged in groups of three or more. Also common are multi-pane double-hung sash windows, leaded diamond lights, and stained glass.

Typical roofing materials are slate, concrete, and wood shingles. Most wood shingle roofing has been replaced with composition shingles.

Various exterior materials, such as brick, stone, timbers, and stucco infill, are common to the Tudor Revival style. Decorative half-timber framing, patterned and arched brickwork, and stone quoins are also typical.



TUDOR REVIVAL HOUSE



TUDOR REVIVAL COTTAGE



TYPICAL WOODEN DOOR WITH ROUND ARCH



GROUPED WINDOWS WITH DIAMOND LIGHTS. THE DOOR AND THE WINDOWS HAVE TUDOR ARCHES ACROSS THE TOP

3.2 FOLK VICTORIAN (c. 1870-1910)

The Folk Victorian style is defined by the presence of Victorian decorative detailing on more simple, folk house forms. Such homes were popular in Texas in the late 19th and early 20th centuries, and are typically much less elaborate than the Victorian styles they imitated. The plans are often similar to those of earlier Folk style houses with modest to larger room sizes, front and rear porches, rooms with windows on two sides for natural ventilation, and high ceilings. In College Station, many of these are houses that were moved from the Texas A&M campus starting in the 1940s.



FOLK VICTORIAN HOUSE

Typically one-story, these houses have non-symmetrical house plans that are often L-shaped, and more rarely T-shaped, I-shaped, shotgun, or center passage. Roof forms are steep and simple in form with gable-front and gable-front-and-wing arrangements, often with boxed wall-roof junctions; hipped roofs are used at the rear of the house. Other characteristics include front porches (few wrap-arounds), simple wooden windows with vertical orientation, and decorative detailing along porches, cornices, and eaves.

Front porches with spindlework and turned columns as well as ornate porch railings and supports are common on Folk Victorian style houses. Some gable ornamentation is also common.

Doors are typically simplistic in design, made of wood, and have large amounts of glazing; large oval shaped panes of glass are typical.

Wooden double hung-sash windows with panes in 1-over-1 or 2-over-2 arrangements are typical. These windows are often grouped together in pairs or threes.

Typical roofing materials are wood shingles. Most wood shingle roofing has been replaced by composition shingles.

Exterior materials include horizontal wood siding, often in a variety of shapes and styles.

3.3 MINIMAL TRADITIONAL (1935-1950)

The Minimal Traditional style was an outgrowth of the depression years, which fused an eclectic design with low or modest incomes. In the later years of World War II, conservation of lumber for the war effort led to a very distinctive structural modification—most houses constructed were built with low-pitched roofs and without projecting eaves. After World War II, nearly all forms of decoration were abandoned in favor of more modern and simplified styles. Minimal Traditional is a precursor to the Ranch style, which dominated the housing market in the 1960s and 1970s.

These small houses have simple house and roof forms, a square or rectangular plan, low pitched roofs, front facing gables at entries, minimal front porches, asymmetrically placed entries, and large multi-paned windows. Most examples are one to one-and-one-half stories tall. When a half second story exists, dormers are appropriate. Large chimneys are common and many examples of the style resemble a stripped down version of Tudor Revival with shallower roofs.

Front entries have stoops protected by a small awning, hood, or front-facing gable projection. Entries can also be slightly recessed into the front façade.

Doors are simple, wooden, and often include a small amount of glazing.

Wood or metal double hung windows with single panes of glass in both sashes are common, as are steel or aluminum casement windows.

Typical roofing materials are wood shingles and asbestos shingles. Most wood shingle roofing has been replaced by composition shingles.

While early forms utilize simple wood siding, wood shingles, or asbestos shingles, later versions were constructed of masonry veneer with brick and stone decorative accents. Combinations of brick, stone, and wood siding are utilized to offer some individuality to the structures.



MINIMAL TRADITIONAL WITH FRONT FACING GABLES



MINIMAL TRADITIONAL WITH SIDE-GABLED ROOF

3.4 **VERNACULAR** (*all time periods*)

The term vernacular means “language of the people.” These buildings are designed by someone without formal training, are based on traditional or regional forms, and almost exclusively use locally-available materials. Vernacular buildings typically have a simple plan and design based on those handed down through generations. These designs address local environmental concerns and reflect cultural and historical traditions of the area. In many cases, vernacular architectural traditions have roots in early attempts at building that were perfected to local conditions and requirements through trial and error.



VERNACULAR HOUSE

3.5 CRAFTSMAN (1905-1930)

Inspired by the work of the Greene and Greene brothers in California, this style of construction was widely published and followed across the country. Through publications such as pattern books, the craftsman style became the most popular and fashionable smaller house in the country during the first decades of the twentieth century. A wide variety of design features make for an endless variety of Craftsman examples.

Distinguished by solid simplistic design, most Craftsman structures are wood frame covered in narrow clapboard or novelty siding with wide porches, and have low roof angles, exposed rafter tails, eave brackets, and square or tapered wood porch columns on massive brick piers. The most simplistic designs are double front-gabled structures with a porch extending across the entire front façade. A narrow one-car garage is typically located at the rear of the lot and sometimes with two hinged wooden barn-like doors.

Front entries are located under large porches that are integral to the house.

Doors are typically wood with simple glazing, often a series of glass panels in the upper portion of the door. Glass sidelights with either stained or beveled glass to match the front door are occasionally utilized.

Wooden double- or single-hung multi-pane windows, usually of 3-over-1, 4-over-1, or 9-over-1, are typical.

The typical roofing material is wood shingle. Most wood shingle roofing has been replaced with composition shingles.

The most common exterior material is horizontal wood siding with wood trim. Wood shingles are often used at gables.



TWO STORY CRAFTSMAN HOUSE



CRAFTSMAN BUNGALOW



TYPICAL CRAFTSMAN DOOR

3.6 FRENCH PROVINCIAL / FRENCH ECLECTIC (1915-1945)

A relatively uncommon style, French Provincial (or French Eclectic) residential architecture most often appears in 1920s and 1930s suburbs. World War I American GIs returning from service in France and several photographic studies of French houses published in the 1920s helped to popularize this style.

Derived from centuries of French domestic architecture examples, these houses have tall, steeply pitched hipped roofs with eaves that flair upward at the junction of the roof and wall, and large central chimneys. Three principal subtypes of this style exist: symmetrical, asymmetrical, and towered. Symmetrical examples have a centered front entry and a large hipped roof dominating the façade. Asymmetrical examples are the most common and have an off-center entry and asymmetrical façade. Towered examples are identified by conspicuous towers which are often utilized for the main entry.

French Provincial houses have small porches or no porches at all. Modest sized stoops are also common.

Doors are typically simple, wooden, and often contain stained or beveled glass. Informal examples of the style usually have simple arched doors, while symmetrical and formal examples of the style utilize doors surrounded by quoins or other elaborate detailing.

Windows are either casement or multi-paned double or single-hung with either wood or metal frames. Stained glass windows are often used as accent features.

The typical roofing material is slate; some have been replaced with composition shingles.

Common exterior materials include brick, stone, stucco, and sometimes half-timbering for decoration.



FRENCH PROVINCIAL HOUSE

3.7 **MONTEREY** (1925-1955)

The Monterey style is a revival of Anglo-influenced Spanish Colonial houses in northern California. The style blends the basic two-story New England colonial house with adobe construction.



MONTEREY STYLE HOUSE

The Monterey style is identified by having a low-pitched gabled roof and a second story balcony that is commonly covered by the main roof and cantilevered from the façade. The balcony runs across the front façade and is the primary character defining feature of the style. Balcony columns and balustrades are typically cast iron, but a common variation utilizes wood.

Main entrance doors are typically stained wood with simple designs. Glazed doors or full length windows, however, are utilized on the second story balcony.

Windows are often divided-light wooden casement or double-hung sash. False shutters are common.

Typical roofing materials are red clay tile, standing and flat seam metal, and wood shakes. Some have been replaced with composition shingles.

The most common exterior materials are stucco, brick, and wood. Wooden materials are usually shingles, horizontal siding, or vertical board-and-batten. Different cladding materials are often utilized for the first and second stories, the most frequent combination being brick on the first floor and wood on the second.

3.8 RANCH (1945-1980s)

The Ranch style, which originated in California, replaced the Craftsman as the dominant residential style in the United States and was made possible by suburban development and the ownership of private automobiles. The style is typified by the maximization of the façade's width and the incorporation of the garage into one wing of the structure (often with a concealed entry) so as to make the house look even wider. Enclosed courtyards or patios as well as wide picture windows or sliding glass doors connected the indoor and outdoor spaces. The style evolved to focus on rear-yard patios and spaces where entertaining and family activities could take place in the privacy of one's own back yard. One-story houses with low-pitched hipped roofs are predominant. Other details include wide eave overhangs with exposed rafter tails as in the Craftsman; decorative ironwork columns and trim; the use of brick or stone as a wainscot or in combination with wood siding, expansive picture or ribbon windows; and decorative shutters. Later examples have boxed eaves. There are several variations of the Ranch style; the following are the styles found in College Station:

A. MINIMAL RANCH

Many Minimal Ranch houses date to the early years of the Ranch style's popularity. Some resemble Minimal Traditional style houses and show the transition between the two styles. These houses often sit on small lots, and were mass-produced by builders.

Minimal Ranch houses typically have a simple linear plan and a side-gabled roof. L-shaped plans also occur. Wings are not common, although some are observed in College Station. Occasionally, a carport is attached to the house.

Front entries have small porches relative to the façade width. Doors are typically plain and painted with an accent color.

Windows may be aluminum or wood casement, double-hung, or sliding. Large picture windows are common and sometimes decorative shutters are utilized as well.

Typical roofing materials include wood shakes, wood shingles, and composition shingles.



MINIMAL RANCH HOUSE

Exterior materials include brick or stone veneer and horizontal siding.

B. TRADITIONAL RANCH

The Traditional Ranch house is the most recognizable subset of the Ranch style and typifies what are known as “ramblers” with a linear, asymmetrical, one-story design. While many are linear and parallel to the street, there are also many “L” shaped plans, with the short leg of the “L” formed by a garage. Roofs are typically low-pitched side-gabled or hipped with moderate to wide overhanging eaves.

Front entries have small porches relative to the façade width. The front porch or entry stoop often features decorative iron or wooden porch supports.

Doors are typically plain and painted with an accent color.

Windows may be aluminum or wood casement, double-hung, or sliding. Large picture windows are common and sometimes decorative shutters are utilized as well.

Typical roofing materials include wood shakes, wood shingles, and composition shingles.

Exterior materials include wood, brick, or a combination of the two.



TRADITIONAL RANCH HOUSE

C. MASSED RANCH

Massed Ranch houses are similar to Traditional Ranch houses from their appearance on the street, but have a square footprint instead of a linear plan. The low-pitched roof is almost always hipped, and sometimes has several different planes. Like the Traditional Ranch, the Massed Ranch has wide boxed eaves. The garage is usually attached, but is not integral to the building as it is in the Traditional Ranch and may be connected by a breezeway.



MASSED RANCH HOUSE

Front entries have larger porches than Minimal Ranch and Traditional Ranch examples.

Doors are typically plain and painted with an accent color.

Windows may be aluminum or wood casement, double-hung, or sliding. Large picture windows are common and sometimes decorative shutters are utilized as well.

Typical roofing materials include wood shakes, wood shingles, and composition shingles.

The façade is usually finished with brick or stone veneer, or a combination of wood and masonry veneer.

3.9 POPULIST MODERN (c. 1950-1980)

The Populist Modern style was a result of the adaptation of Modern and International architectural styles for mainstream use. This style is one of the more characteristic styles in College Station.



POPULIST MODERN HOUSE

Populist Modern style uses some elements of the popular Ranch style, but typically incorporates Modern elements such as simple profiles, emphasis on geometric shapes (including triangles), large expanses of glass especially on the rear, minimal ornamentation, and a connection with the surrounding landscape through a low horizontal emphasis. The houses are often irregular in plan, and are one to one-and-one-half stories in height. Roofs are flat or low-pitched and can have no eaves or broad, deep eaves.

Doors are may be decorative and often have large amounts of glazing.

Large, single-pane aluminum or wood windows are typical, particularly on the front façade. Large expanses of glass are common on the back façade. Other common window types include narrow vertical windows, horizontal windows, and clerestory windows.

Typical roofing materials include metal, built-up, and composition shingles. Roofs are sometimes flat.

Exterior materials include brick, stone, stucco, or concrete, and many also used rough wood planking or materials that became widely available in the 1950s such as plate glass, stainless steel, and metal alloys. In many cases, exposed wood or steel supports are used. A combination of masonry and wood is also common.

The style of some of the Populist Modern houses in College Station is certain to be influenced by the many fine examples of modern housing designed by architects Caudill Rowlett Scott (CRS), who started their firm in College Station in offices on the south side of the campus. Many of their best examples can be found in Southside neighborhoods, including “The Knoll.”

4. STANDARDS FOR REHABILITATION

Applicability: The Standards for Rehabilitation apply to the rehabilitation of contributing properties; standards for non-contributing properties are found in Section 6. Contributing and non-contributing properties are identified in Section 2.

The standards are intended to preserve the historic character defining features of the contributing properties by retaining as much historic material as possible, by repairing rather than replacing, and by protecting the historic features that give a property its character. Determining what features and materials are historic is the first step of any rehabilitation effort.

The standards prioritize the preservation of building facades that are visible from public streets; these are designated as “protected” facades and are defined by Diagram 4-1 for corner lots and Diagram 4-2 for interior lots. Protected facades should be preserved or restored and should not be altered unless there are no reasonable alternatives. Non-protected facades are the remaining facades of the building; work to these facades must be appropriate but the standards recognize that change will occur and that alterations and additions may be required on these facades.

4.1 SITE

Site and context are critical to the character of a historic building and neighborhood; therefore, the relationship of buildings and structures to their respective sites and to adjacent sites is an important character defining feature of the neighborhood. Avoid rearranging the site by moving or removing buildings and site features such as walks, drives, and fences, which help define the historic value of the historic district.

A. WALKWAYS

I. GENERAL

There are many historic concrete walkways that connect the street to the porch or entrance of the main building remaining in the neighborhood. These walkways are typically simple, perpendicular to the street, and incorporate small stoops at the street edge or near the porch or entrance.

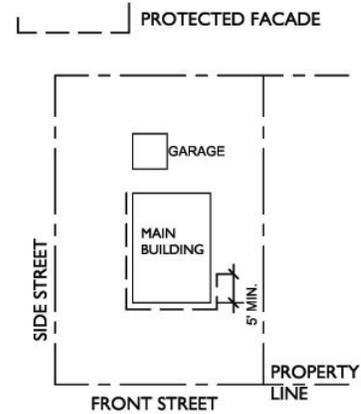


DIAGRAM 4-1: PROTECTED FACADES AT CORNER LOTS

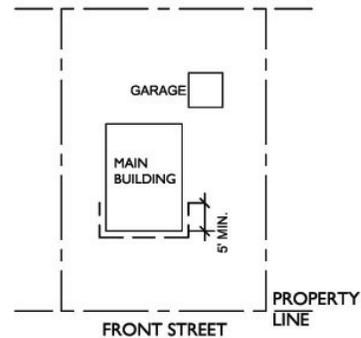


DIAGRAM 4-2: PROTECTED FACADES AT INTERIOR LOTS

2. STANDARDS

- a. Historic walkways are protected.
- b. Historic walkways shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic size, form, location, and material.
- c. Where changes to the historic walkways are necessary, the alterations and new walkways shall be similar to and compatible with the historic walkways.

B. DRIVEWAYS

1. GENERAL

Typical neighborhood driveways are narrow, located to one side of the residence near the side property line, are straight and perpendicular to the street, and constructed of concrete. Driveways on adjoining properties are typically not located side-by-side. The pattern of driveways and the green space between them is a character defining feature of the neighborhood.

2. STANDARDS

- a. Historic driveways are protected.
- b. Historic driveways shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic form, width, location, and material.
- c. Where changes to the historic driveway are necessary, the changes shall be permitted behind the protected façade of the main building.

C. LANDSCAPE

1. GENERAL

Landscaping in the neighborhood varies, but the predominant front and side street yard landscaping includes expanses of grassy areas that connect one property to another. Landscaping typically does not serve to visually separate properties from one another.

2. STANDARDS

Landscape elements greater than four feet in height and continuous in nature, such as a hedge, are not permitted in the front yard or in side yards.

D. TREE PRESERVATION

1. GENERAL

Mature trees of various species are character defining features of the neighborhood.

2. STANDARDS

- a. Existing trees of 20-inch caliper or greater, in good condition, and located in front yards and cornerside yards and within 15 feet of the curb are protected.
- b. Removal of existing trees of 20-inch caliper or greater located in front yards and cornerside yards and within 15 feet of the curb and in poor condition is permitted with documentation of the poor condition of the tree or eminent failure that would cause harm to other built and natural features of the site or neighborhood, as determined by an arborist of landscape professional.
- c. Removal of existing trees of 20-inch caliper and within 15 feet of the curb shall be permitted under special circumstances that may include species, anticipated life span, number of trees in vicinity of tree proposed to be removed, etc.

E. FENCING AND SITE WALLS

1. GENERAL

Historically, fencing included three and four-foot tall wood or chain link metal fences that provided minimal separation between neighbors to enclose rear yards. Today, fences are typically taller, made of wood and metal and providing greater privacy. Site walls, which include retaining walls and low walls enclosing outdoor spaces are also found in the neighborhood.

2. STANDARDS

- a. Historic fencing and site walls in front yards and cornerside yards are protected.
- b. Historic fencing and site walls shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the material, form, height, and dimension of the historic fencing. Where an entire fence is to be replaced, the replacement fence shall be appropriate to the style of the building.

4.2 FEATURES

The character defining features of an individual property and the neighborhood at large shall be preserved and protected. Determining which features are character defining for a given property involves understanding the history of that property and the condition of the features. The elements listed below, when historic and in repairable condition, are character defining features that are protected by this ordinance where they occur on protected facades. However, individual properties may have additional features that are imbued with significance due to their unique design or due to an association with an important person or event, and these features need to be identified, recognized and then protected as well.

Protection of these features does not prohibit changes that may be required to achieve accessibility, life safety provisions, mandated code requirements, or in some cases, energy efficiency. These necessary changes need to be made in a manner that minimizes their impact and effect on the character defining features of the site or building.

Preservation work and alterations to features on non-protected facades shall be appropriate.

A. FORM AND STYLE

I. GENERAL

The form of a building is defined by its shape, roof line, and footprint on the property. The style is defined by both the form and the design of the features and materials that make up the building. Refer to the Style Guide in Section 3 for more information about the characteristics of the style of the buildings in the neighborhood and for examples of what is appropriate design within each style.

2. STANDARDS

- a. The historic form of the building to the extent that it is visible from the opposite side of a right-of-way is protected. Refer to Diagram 4.3 for sight lines that shall be used to determine visibility.

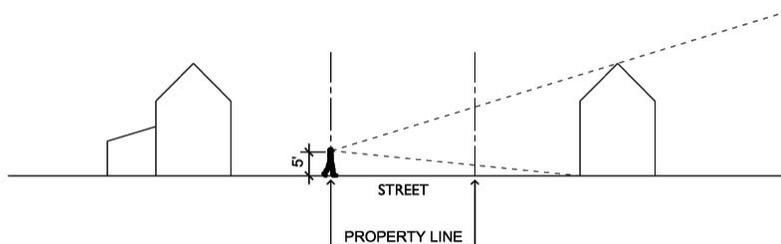


DIAGRAM 4.3 SIGHT LINES PROTECTING FORM OF PROPERTY

- b. The historic style of a building is protected. Where the style of a building has been altered, repairs and alterations shall serve to “bring back” the historic style of the building; therefore, repairs and alterations shall be compatible with the historic style of the building.

B. PORCHES, STOOPS, AND PORTE-COCHERE

I. GENERAL

Depending upon the style of the building, porches, stoops, and porte-cochere may be character defining features. These elements can vary from wrap-around

porches on Folk Victorian buildings to small covers at entrance doors on Minimal Traditional buildings. Typically, porches, stoops, and porte-cochere are special and unique features that provide interest and variety to the neighborhood. Each style of building uses these features in different ways and it is important to maintain appropriate designs for these elements (for example, a Victorian style porch is not appropriate on a Craftsman style building).

2. STANDARDS

- a. Historic porches, stoops, and porte-cochere are protected.

- b. The enclosure of historic porches that were not originally enclosed is not permitted, except at side porches where the entire porch is integral to the roof form of the building, such as commonly found on Tudor style buildings. The porch may be enclosed using the following standards:
 - i. Enclosure shall utilize the maximum amount of glass practical.
 - ii. Glass shall be clear and in the largest expanses practical, with minimal sized mullions and muntins.
 - iii. Windows, if used, shall be consistent in style with the historic windows on the building or be minimally divided full height casement type.
 - iv. The design of the enclosure does not draw attention to itself or add details and design features that compete with the design of the historic porch.
 - v. Screening is used to enclose the porch.

- c. The removal of non-historic enclosures from historic porches is encouraged.
- d. The reconstruction of missing porches and porch features is encouraged, based on documentation of the historic design.

C. DOORS

I. GENERAL

Historic doors are an important character defining feature of a building. Door design typically provides an accent and may incorporate a special material, finish, or design that provides variety and interest to the neighborhood. Each style of building uses characteristic door styles and it is important to maintain appropriate designs for these elements. For example, a Victorian style door is not appropriate on a Craftsman style building.

2. STANDARDS

- a. Historic doors, including the frame and hardware, are protected.
- b. Historic doors shall be repaired rather than replaced; however, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic door size, material, finish (painted or stained), and other design characteristics.
- c. Replacement doors for non-historic doors shall be based either on:
 - i. a design to match the historic door based on adequate documentation, or
 - ii. a design that is appropriate to the style of the building.
- d. Ironwork, metal gates, and burglar bars are not permitted on the exterior of doors.

- e. The retention of historic screen doors is encouraged.

D. WINDOWS

1. GENERAL

Historic windows are one of the most important character defining features of a building. Windows in the neighborhood vary according to the style of buildings from simple single hung one-over-one light windows to decorative leaded glass casement windows. Typically windows within a building are of one or two types with occasional accent windows that may include special designs. Each style of building uses characteristic styles of windows and it is important to maintain appropriate designs for these elements (for example, a Victorian style window is not appropriate on a Craftsman style building).

2. STANDARDS

- a. Historic windows, including the sash, frame, glazing and sill are protected. Historic shutters, where applicable, are also protected.
- b. Historic windows and shutters shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic window size, material, finish (painted or stained), window pane number and configuration, and other design characteristics. When there is severe deterioration of windows such that repair is not practical, this condition shall be documented in written and photographic form and submitted as part of the Certificate of Appropriateness application.
- c. Replacement windows or shutters for non-historic windows shall be based either on:

- i. a design to match the historic window based on adequate documentation, or
 - ii. a design that is appropriate to the style of the building.
- d. Replacement windows shall incorporate true divided lights (real window panes) or simulated window panes that are achieved by surface applied muntins on both the inside and outside of the glass. Plastic divider strips on the interior side of the glass are not permitted as a means of simulating divided lights.
- e. Ironwork, metal gates, and burglar bars are not permitted on the exterior of windows.
- h. Glazing shall be clear, without tint or reflectivity, except that where glazing must be replaced and an insulated glass unit is appropriate, a clear Low E coating is permitted, upon review of a sample to determine the degree of reflectivity and its appropriateness.
- i. Replacement glazing shall match the historic glazing where possible.
- j. The restoration of specialty glass, art glass, stained glass, and leaded glass is encouraged to be treated by an artisan or specialist in this area.

E. ROOFING

I. GENERAL

Historic roofing materials in the neighborhood include wood shingle, clay tile, slate and metal. Roofing is the single most important component of a building envelope, protecting other materials as well as the building interior from the damaging effects of water and moisture; therefore, the maintenance of a roof is critical to the preservation of the building. Roof forms and materials are character defining features of a building.

2. STANDARDS

- a. Historic roofing, including eaves, soffits, cornices, parapets, coping, dormers, and decorative elements, such as cresting, and roof forms are protected.
- b. Historic roofing shall be repaired rather than replaced; however, if replacement is necessary due to severe deterioration or damage, the replacement shall match the roofing material, texture, color, and shape, where possible or be similar in appearance to the historic roofing.
- c. Replacement roofing for non-historic roofing shall be based either on:
 - i. roofing that matches or is similar in appearance to the historic roofing based on adequate documentation,
 - ii. roofing that is appropriate to the style of the building, or
 - iii. substitute materials that simulate historic roofing materials are permitted where their design is appropriate.

F. EXTERIOR LIGHTING

I. GENERAL

Historic light fixtures are typically accent features that may incorporate a special material, finish, or design that provides variety and interest to the neighborhood. Each style of building uses characteristic styles of lighting and it is important to maintain appropriate designs for these elements (for example, a Victorian style light fixture is not appropriate on a Craftsman style building).

2. STANDARDS

- a. Historic light fixtures are protected.

- b. Historic light fixtures shall be repaired rather than replaced; however, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic light fixture materials, finish, and have a similar or matching size and shape.
- c. Replacement light fixtures shall be of a design that is appropriate to the style of the building.

G. MECHANICAL SYSTEMS

I. GENERAL

Mechanical equipment is generally located out of view from public streets and screened with landscaping. Insensitive installation of mechanical systems can cause damage to historic materials and alter the visual qualities of a building.

2. STANDARDS

- a. Mechanical equipment, including satellite dishes, shall not be visible from a public street or landscape shall obscure visibility of equipment.
- b. Large mechanical vents shall not be visible from a public street.
- c. Mechanical equipment shall be set back from the edges of roofs. The placement of large vents on roofs on the rear or side (for interior lots) roof slope is encouraged.
- d. Window air-conditioning units are discouraged.

H. ACCESSIBILITY

I. GENERAL

Accessibility to a building by those with disabilities is necessary. Care must be taken not to damage or make inappropriate alterations to the visual qualities

of a building and site. Many historic buildings are built with a pier and beam foundation that raises the first floor significantly off the ground, requiring an accessible ramp of great length. The intent of the standards below is to minimize the impact of accessibility on the protected facades of the main building.

Temporary accessibility may be required. For the purpose of this ordinance, temporary access ramps that do no damage to the historic features and materials of the building are permitted for a period of six months and may be approved as Routine Maintenance. For temporary accommodations beyond a period of six months or permanent accommodations, a Certificate of Appropriateness is required.

2. STANDARDS

- a. Locating ramps or other accessibility related elements on the side or rear of the main building is encouraged.
- b. The installation of a ramp or other accessibility related elements shall not damage or obscure the character defining features of the main building.
- c. The use of gently sloped ground and sidewalks to avoid the construction of ramps is encouraged, where possible.
- d. The design of ramps and other accessibility related elements shall be appropriate to the style of the building, but without accurate period details.

I. ENVIRONMENTAL

I. GENERAL

Making environmentally sustainable choices and improving the energy performance of a building are necessary but they can also cause damage or alter the visual qualities of a building and site. Historic

buildings typically already incorporate many environmentally sustainable design features such as cross ventilation, operable shutters, and shading on south and west sides of the building. Reuse of existing buildings is a sustainable act in and of itself. The intent of the standards below is to minimize the impact of environmental-driven improvements on the historic character of the main building.

2. STANDARDS

- a. Solar panels located on roofs facing front or side streets which are visible from the street are not permitted.
- b. Exterior sun shades are not permitted. Exterior shutters and interior sun shades and window treatments are alternative choices.
- c. Locating equipment and storage facilities necessary for rain water harvesting in front and cornerside yards is not permitted.
- d. Storm windows on the exterior of windows and doors are not encouraged. However, storm windows and doors are permitted and may be approved as Routine Maintenance under the following circumstances:
 - i. Windows covered by storm windows are single pane or one-over-one panes windows.
 - ii. Storm windows and doors are easily removable and do not damage the historic windows and doors.
- e. Interior storm windows and storm windows that attach directly to the inside of existing windows, referred to as “piggy back” interior storm windows, are encouraged and do not require a Certificate of Appropriateness.
- f. Awnings, canopies, and other sun shading devices are not permitted unless it can be

shown that these elements existed when the building was originally constructed.

- g. Shutters that operate are permitted where appropriate to the style of the building as a means of improving energy efficiency.
- h. The replacement of windows solely for environmental or energy efficiency reasons is not permitted unless no other alternative means of improving energy efficiency is viable.

J. ACCESSORY STRUCTURES

Historic accessory structures such as garages are protected, where they are visible from a public street and shall meet the same standards as the main building.

4.3 MATERIALS

The preservation of historic materials provides individual properties and the neighborhood at large with authenticity and integrity.

A. WOOD

1. GENERAL

Wood is used for clapboard, weatherboard, wall shingles, doors, windows, and trim. In addition, door and window surrounds, exposed rafter ends, sun screening elements, entrance porches, brackets, and decorative elements are also typical character defining features built of wood.

2. STANDARDS

- a. Historic wood is protected.
- b. Historic wood features shall be repaired rather than replaced; however, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic element in appearance, dimension, form and texture.

- c. Exposed wood shall be painted, stained, or otherwise protected from deterioration, except for shingles and other elements that were historically unpainted.
- d. Paint removal methods that involve thermal devices, failure to neutralize chemical strippers, stripping over a prolonged period such that the grain is raised and the surface is roughened, and mechanical abrasive methods are not permitted.

B. MASONRY

I. GENERAL

Masonry includes brick, stone, cast stone, mortar, concrete, and petrified wood. These materials are typically used as either the primary façade material or as accent materials. Masonry is typically considered a character defining feature.

2. STANDARDS

- a. Historic masonry and features such as texture, tooling, bonding patterns, and joint treatment are protected.
- b. Historic masonry features shall be repaired rather than replaced; however, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic material, size, form, texture, bonding pattern, joint size, shape, appearance, and mortar.
- c. Painting, waterproofing, water repellent treatments and other coating of historic brick, stone, cast stone and petrified wood is not permitted, except if it can be shown that the material was painted at the time the building was constructed or if it can be demonstrated that the masonry is unable to perform and is causing water penetration problems.
- d. Cleaning of masonry should only be undertaken when necessary to stop

deterioration and should employ the gentlest means possible, such as low pressure water and soft bristle brushes. Cleaning with chemical cleaners or micro-abrasive systems shall be tested on a hidden area of the building to determine if damage will occur and to ensure an appropriate cleaning treatment.

- e. Mechanical abrasive methods of cleaning such as grit or sand-blasting are not permitted.
- f. Repointing of masonry should be undertaken only where joints are deteriorated—when mortar is missing, loose, or otherwise failing. Cutting out of joints shall be undertaken with care not to damage the masonry unit. Mortar for repointing masonry shall match the historic mortar in material compressive strength, appearance, joint profile, and dimension. Ready-made gray cement mortars are typically not a good match to historic mortars and shall not be used.
- g. The removal of paint and other coatings that were not historically part of the building is permitted where testing has confirmed that the removal methods will not do harm to the masonry. The use of mechanical abrasive methods such as grit or sand blasting to remove paint or other coatings is not permitted.

C. WOOD SHINGLE

I. GENERAL

Historic roofing materials utilized in the neighborhood include wood shingles. Today, the vast majority of wood shingle roofing has been replaced by composition shingle roofing, which is an accepted practice that is encouraged by the insurance industry. While historically accurate wood shingle roofing is encouraged, these standards also accept

that composition shingle roofing is an appropriate substitution.

2. STANDARDS

- a. Historic wood shingle roofing materials and features, including eaves, soffits, cornices, coping, trim, and cresting elements are protected.
- b. Historic roofing shall be repaired rather than replaced; however, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic element in material, size, texture, form, and color.
- c. While the retention of historic or replacement wood shingle roofing is encouraged, replacement with composition roofing that is similar in size, texture and color to the historic wood shingle is also permitted.

D. CLAY AND SLATE ROOF TILE

1. GENERAL

Historic roofing materials in the neighborhood include clay tile and slate. This roofing is a character defining feature. Both of these roofing materials are still readily available today for use in repairs and replacement work.

2. STANDARDS

- d. Historic clay and slate roofing materials and features, including chinking, special shapes, ridge covers, end pieces, eaves, soffits, coping, and cresting are protected.
- e. Historic roofing shall be repaired rather than replaced; however, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic element in material, size, form, texture and color.

- f. While the retention of historic or replacement clay and slate roofing is encouraged, replacement with substitute materials that are similar in size, texture and color to the historic roofing is also permitted.

E. METAL

1. GENERAL

Metal is found in the neighborhood typically in accent elements such as porch roofs, railings, fencing and decorative screens, brackets, and grillework and are generally character defining features. Metal materials may include copper, lead coated copper, cast iron, wrought iron, aluminum, zinc, and steel.

2. STANDARDS

- a. Historic metal in accent elements is protected.
- b. Historic metal shall be repaired rather than replaced; however, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic element in all respects.
- c. Retaining historic metal components such as gutters, down spouts, mailboxes, and hardware is encouraged.
- d. Historic metal patina shall be retained. The patina may be protected with a clear coating, if desired.
- e. Metals subject to corrosion such as steel, wrought iron, and cast iron shall be painted.
- f. Cleaning of metals shall be undertaken using the gentlest means possible and with testing in obscure areas to determine if any damage will occur.

- g. Mechanical abrasive cleaning and paint removal methods such as grit or sand blasting and harsh chemicals are not permitted.

F. PAINT AND COLOR

1. GENERAL

The preservation of a paint record for historic properties and appropriate paint color selections for repainting campaigns are important to the record and character of a historic neighborhood. Today, most of the historic paint has been painted over and often in very different colors. Paint color, particularly for buildings made primarily of painted wood, is a character defining feature.

2. STANDARDS

- a. Historic paint shall be preserved in place where possible beneath new paint. Where removal of all paint is necessary to achieve a proper bond for new paint, retain a small area with the full record of paint layers.
- b. Paint removal, where necessary, shall be undertaken without causing damage to the historic wood or metal material.

5. STANDARDS FOR ADDITIONS AND NEW CONSTRUCTION

Applicability: The Standards for Additions and New Construction apply to alterations and additions to contributing properties and to new construction. Contributing and non-contributing properties are identified in Section 2.

It is recognized that changes to and the expansion of historic buildings are a necessary part of a building's evolution. These standards are intended to manage that change in a way that protects the character defining features of the neighborhood.

Additions shall be designed to minimize their impact on the historic design and materials. Additions shall be compatible with the main building in massing, size, scale and material. Whenever possible, new additions to buildings should be done in such a manner that, if removed in the future, the essential form and integrity of the historic building and site would be unimpaired. Additions and new construction shall also be designed to be distinct from the original historic building, clearly not historic, and shall not create false history by adding conjectural features.

The standards are intended to protect the protected facades of the main building as defined by Diagram 4-1 for corner lots and Diagram 4-2 for interior lots. Protected facades are those facades that are typically visible from public streets.

Additions to non-protected facades shall be appropriate.

5.1 SITE DEVELOPMENT

A. GENERAL

Typically, the main buildings in the neighborhood are set back more than twenty-five feet from the street, but not consistently; therefore, there is no consistent dimension for front yard setbacks and the minimum standard is based on that established for the Neighborhood Prevailing Overlay Districts (NPO) in the Unified Development Code. Historically, minimum side and rear yard requirements were not in place, so accessory buildings, for example, are sometimes placed on or very near the side or back property line. These characteristics

of the historic development are intended to be protected by the standards below.

B. STANDARDS

1. MINIMUM FRONT SETBACK

- a. Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.
- b. The historic front yard setback is protected; additions shall not encroach onto historic front yards.
- c. Additions shall be set back from the front face of the historic main building by a minimum of five feet and shall be limited to the area defined in Diagram 5-1 and 5-2.
- d. Reconstructed historic buildings or features of buildings, including accessory buildings, that are proposed to be reconstructed, based on documentary evidence of their historic appearance and location, due to poor condition or damage, shall be permitted to be constructed in the same location as the historic building.

2. MAXIMUM FRONT SETBACK

- i. Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.
- b. Reconstructed historic buildings or features of buildings, including accessory buildings, that are proposed to be reconstructed based on documentary evidence of their historic appearance and location, due to poor condition or damage, shall be permitted to be constructed in the same location as the historic building.

3. MINIMUM SIDE STREET SETBACK

- i. Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.
- ii. Reconstructed historic buildings or features of buildings, including accessory buildings, that are proposed to be reconstructed due to poor condition or damage, shall be permitted to be constructed in the same location as the historic building.

4. MINIMUM LOT SIZE

Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.

5. BUILDING HEIGHT

The maximum building height shall be limited to the maximum height of the existing historic main buildings along the addressed street front. Non-historic construction and non-contributing properties shall not be used to determine the maximum building height. The existing height shall be measured to the peak or ridge of the highest roof on the main building

6. MAXIMUM LOT COVERAGE

Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.

7. GARAGE AND CARPORT LOCATION AND ORIENTATION

- i. Garages are permitted within the hatched area indicated on Diagram 5-1 for corner lots and Diagram 5-2 for interior lots.
- ii. Garages shall be separated from the main building and under an independent roof, except on Ranch style and Populist Modern style buildings.
- iii. Garages shall be set back from the front of the main building by a minimum of twenty

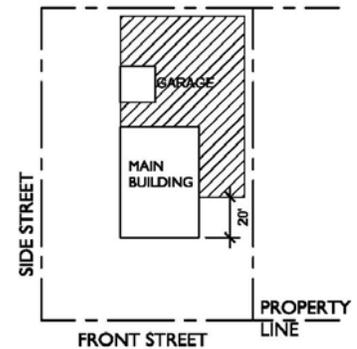


DIAGRAM 5-1 AREA OF PERMITTED GARAGE LOCATIONS FOR CORNER LOTS

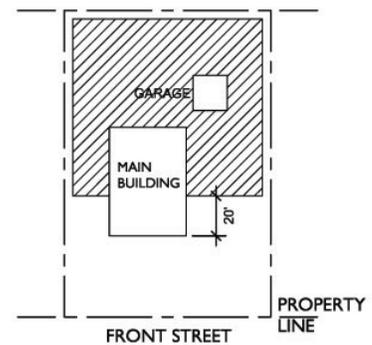


DIAGRAM 5-2 AREA OF PERMITTED GARAGE LOCATIONS FOR INTERIOR LOTS

feet, except on Ranch style and Populist Modern style buildings.

- iv. Carports are not permitted, except on Ranch style and Populist Modern style buildings and when located such that the carport is not visible from the street.
- v. Attached garages and carports are permitted as additions on Ranch style and Populist Modern style buildings and shall be governed by the following standards:
 - i. Attached garages and carports on the front of the building shall be set back a minimum of five feet from the front façade of the main building.
 - ii. Attached garages and carports on the side street facades of the building shall be flush or set back from the side façade of the main building.
 - iii. An attached garage is permitted at the rear of the main building when it is not visible from the street.
- f. A covered but open air walkway is permitted to connect a detached garage to the main building if it is open on all sides, except for the roof.

8. WALKWAYS

- a. Primary walkways shall be located perpendicular to the street, be straight or curvilinear, and shall conform to the following standards:
 - i. Use concrete, brick, or stone as the material.
 - ii. Be less than four feet in width.
 - iii. Incorporate steps and/or retaining walls if necessary.

- b. Secondary walkways are permitted.

9. DRIVEWAYS

- a. Driveways shall be located perpendicular to the street with a straight or curvilinear connection to the garage or carport.
- b. Driveways shall be not more than ten feet wide within the front yard setback and for a distance of at least an additional twenty feet behind the front façade, with the exception of Ranch style and Populist Modern style buildings, for which wider driveways are permitted.
- c. Circular driveways are not permitted.
- d. Side-by-side driveways, where a driveway is placed next to a neighboring property driveway, is not permitted unless there is no reasonable alternative.



IMAGE 5-3 LANDSCAPING OF HEIGHT GREATER THAN 4 FEET AT FRONT YARD ALONG PROPERTY LINE IS NOT PERMITTED

10. LANDSCAPE

Hedges and planting four feet tall or more are not permitted along property lines within front yard setbacks and shall not encroach on front and side yards beyond the areas indicated on Diagram 5-4 for corner lots and Diagram 5-5 for interior lots (example Image 5-3).



DIAGRAM 5-4 PERMITTED HEDGE LOCATION AT CORNER LOT

11. FENCING AND SITE WALLS

- a. Fencing shall not encroach on the front yard or cornerside yard beyond the areas indicated in Diagram 5-6 for corner lots and 5-7 for interior lots; however, in the event that a window, door or other character defining feature occurs at the required fencing setback line, the fence shall be located further away from the street to avoid such features.
- b. Permitted fencing materials include wood, metal, stone, chain link, or iron.

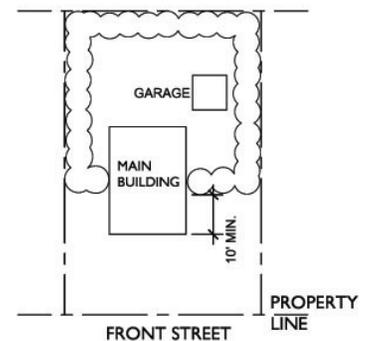


DIAGRAM 5-5 PERMITTED HEDGE LOCATION AT INTERIOR LOT

- c. Permitted site wall materials include concrete, stone, or brick.
- d. Site walls shall be limited in height to that required for retaining earth.
- e. Plastic, vinyl and sheet metal fencing is not permitted.
- f. For height limitations, refer to the Unified Development Ordinance.
- g. Fencing style shall be appropriate to the style of the main building.

5.2 FEATURES

A. FORM AND STYLE

1. GENERAL

Refer to Section 3 (Architectural Style Guide), other style guides and other property in the neighborhood for appropriate design precedents.

2. STANDARDS FOR ADDITIONS

- a. Additions located at the rear of the property, where they are not visible from the street, are encouraged.
- b. Horizontal additions shall be set back a minimum of five feet from the adjacent front façade and within the area or permitted addition locations indicated in Diagram 5-8 for corner lots and Diagram 5-9 for interior lots.
- c. Vertical additions are limited by the height of the existing building within sight lines visible from the street. Refer to Diagram 4.3 to define sight lines for visibility.

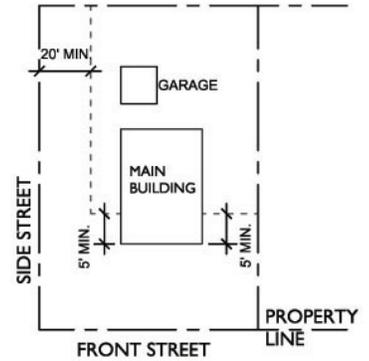


DIAGRAM 5-6 PERMITTED FENCING LOCATION ON CORNER LOTS

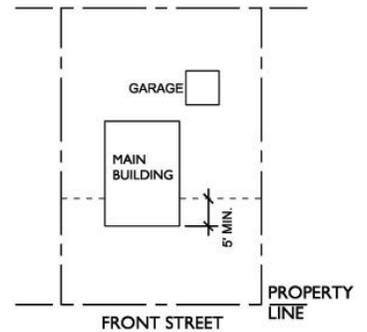


DIAGRAM 5.7 PERMITTED FENCING LOCATION ON INTERIOR LOTS

- d. Additions shall not destroy, damage, or obscure character defining historic features that are visible from the street.
- e. Additions shall be designed to be appropriate to the style of the historic building.
- f. Additions shall be compatible in form, scale, materials, and workmanship, and shall not result in the diminution or loss of historic character of the historic building or the neighborhood.
- g. Additions shall be designed such that they are visually distinct from the historic building and in a manner that makes clear what is historic and what is new.
- h. Additions that accurately replicate or imitate the historic style of the historic building are not permitted.
- i. Where possible and where an addition is of sufficient size to warrant this approach, additions shall be separated from the historic building by a recessed, lowered roof or otherwise distinguished "link" or "hyphen" that creates a visual distinction between the form of the historic building and the addition. Where appropriate, this pause may be constructed primarily of glass. In this way, the form of the historic building may remain unaltered while the addition retains a form of its own.
- j. Additions shall be constructed in such a manner that, if removed in the future, the essential form and integrity of the historic building would be unimpaired.

3. STANDARDS FOR NEW CONSTRUCTION

- a. Historically accurate replicas or imitations of buildings not originally on the property are not permitted; however, accurate reconstructions of buildings or portion of buildings that once existed on the property, where there is

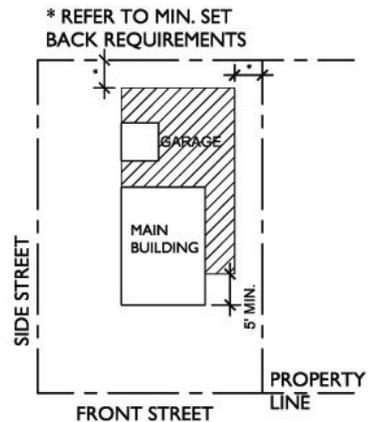


DIAGRAM 5-8 AREA OF PERMITTED ADDITION LOCATIONS/ CORNER LOTS

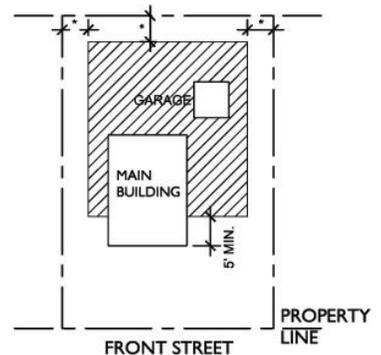


DIAGRAM 5-9 AREA OF PERMITTED ADDITION LOCATIONS/ INTERIOR LOTS

adequate documentation to support reconstruction, is permitted.

- b. New construction shall be compatible with the scale and form of the historic main buildings in the neighborhood.

B. PORCHES, STOOPS, AND PORTE-COCHERE

I. GENERAL

Historic porches, stoops and porte-cochere are features that provide interest and character to a building which helps to make new construction more compatible with the historic character of the neighborhood. The neighborhood includes a wide variety of size and types of porches from attached covered porches to inset types that are housed under the main roof of the building. Stoops are used to accentuate an entrance walk or the entrance to the building in a subtle way while porte-cochere provide a covered passage for automobiles while shielding the garage structure from the street.

2. STANDARDS FOR ADDITIONS

- a. Additions to historic porches, stoops, and porte-cochere are not permitted.
- b. The addition of a porch, stoop or porte-cochere on a main building that did not originally have this feature is not permitted.
- c. The reconstruction of a porch, stoop or porte-cochere based on adequate documentation of the historic appearance is encouraged.

3. STANDARDS FOR NEW CONSTRUCTION

- a. Porches, stoops and porte-cochere are encouraged in new construction.
- b. Porte-cochere are not permitted to be located directly in front of the main building entrance.

C. DOORS

1. GENERAL

Entrance doors are often used to create interest and a focal point for a front façade, through the use of moldings, porches, stoops, decorative surrounds, and special door designs and color. Front doors often include screen doors also.

2. STANDARDS FOR ADDITIONS

Doors shall be compatible in style, form, size, and material with the historic building.

3. STANDARDS FOR NEW CONSTRUCTION

- a. One primary front door or pair of doors shall be provided. Additional entrances may be provided but their design shall be less prominent than that of the primary entrance
- b. Doors shall be compatible in size and material with the historic buildings in the neighborhood.

D. WINDOWS

1. GENERAL

Windows are one of the most character defining features of a building. Windows shall maintain consistency in style, dimension, and material with historic windows. Historically, windows included screens on the exterior, or interior for some types of windows. Historic windows are typically made of one sheet of glass per light, while today's more energy efficient windows typically employ two sheets of glass with a divider strip between them that creates an air space.

2. STANDARDS FOR ADDITIONS

- a. Windows shall be compatible in style, form, size, and material with the windows of the historic building.

- b. The proportion of windows and the ratio of window to wall shall be similar to that of the historic building.
- c. Windows with multiple panes shall use true divided lights or simulated divided lights that include a muntin with a dimension similar to that or a true divided light on the interior and the exterior of the glass. Muntins that are flat and applied on the interior of the window are not permitted to simulate divided lights.
- d. Window screens that match the historic window screens are encouraged.
- e. Window shutters, where appropriate to the style of the building are encouraged.

3. STANDARDS FOR NEW CONSTRUCTION

Windows with multiple panes shall use true divided lights or simulated divided lights that include a muntin with a dimension similar to that or a true divided light on the interior and the exterior of the glass. Muntins that are flat and applied on the interior of the window to simulate divided lights are not permitted.

E. ROOFING

1. GENERAL

Roofs that are visible from the street are character defining features of a building and one of the most important components to maintain in good condition in order to preserve other historic features and materials. Roofs include drainage components such as gutters and downspouts, chimneys and flashing, and sometimes decorative features such as cresting, dormer windows, and special trim elements.

2. STANDARDS FOR ADDITIONS

- a. Roofing shall match or be similar to the historic roofing.

- b. Dormers located at the rear of the building or where they are not visible from the street are permitted, except on Ranch style and Populist Modern style buildings. Dormers are not permitted on protected facades, unless there were historic dormers originally.

3. STANDARDS FOR NEW CONSTRUCTION

Roofing shall be compatible in scale and material with the historic buildings in the neighborhood.

F. EXTERIOR LIGHTING

1. GENERAL

Historic lighting at primary entrances and porches is protected. Supplemental lighting may be required to meet current expectations for light levels and for security purposes.

2. STANDARDS FOR ADDITIONS

- a. Exterior lighting on additions shall be compatible with historic exterior lighting.
- b. The addition of exterior lighting shall be compatible with the historic lighting.
- c. Extensive exterior lighting that increases the light level at the addition beyond the light level at the front door of the building is discouraged.
- d. Locating utilitarian security lighting out of view from the street is encouraged.

3. STANDARDS FOR NEW CONSTRUCTION

Lighting shall be compatible in scale and material with the historic buildings in the neighborhood.

G. MECHANICAL SYSTEMS

1. GENERAL

Mechanical equipment such as condensing units or large ventilation fans can be inappropriate additions to protected facades.

2. STANDARDS FOR ADDITIONS

- a. Mechanical equipment shall be located where it is not visible from a public street or where it can be shielded from view by landscaping.
- b. Large mechanical vents shall be located where it is not visible from a public street.

3. STANDARDS FOR NEW CONSTRUCTION

- a. Mechanical equipment shall be located where it is not visible from a public street or where it can be shielded from view by landscaping.
- b. Large mechanical vents shall be located where they are not visible from a public street.

H. ACCESSIBILITY

1. GENERAL

For standards regarding alterations to a historic building, including the construction of a new ramp, refer to Section 4. 1. For standards regarding an addition for a lift or elevator, refer to the standards below:

2. STANDARDS FOR ADDITIONS

- a. A lift or elevator addition shall be located where it is not visible from a public street, where possible.
- b. For standards regarding a lift or elevator addition refer to Section 6.1.
- c. A lift or elevator shall be compatible in style, scale, and material with the historic main building.

3. STANDARDS FOR NEW CONSTRUCTION

Elements associated with accessibility shall be compatible in scale and material with the historic buildings in the neighborhood.

I. ENVIRONMENTAL

1. GENERAL

Reducing energy costs, designing sustainable buildings and protecting our environment are important goals that sometimes conflict with preservation of historic buildings. These standards intend to encourage energy efficient and sustainable design wherever there are no adverse effects on the historic building.

2. STANDARDS FOR ADDITIONS

- a. Refer to standards defined for the rehabilitation of historic buildings in Section 4.1
- b. Green roofs, defined as planted roof areas, are permitted where they are not visible from the street.
- c. Rainwater harvesting is permitted where it is not visible from the street.

3. STANDARDS FOR NEW CONSTRUCTION

Refer to standards for additions above.

J. ACCESSORY BUILDINGS

1. GENERAL

Accessory buildings are generally smaller in size and simpler in detail than the main building, and are often garage buildings. Some properties in the neighborhood have more than one accessory building.

2. STANDARDS FOR ADDITIONS

- a. Additions to accessory buildings shall follow the historic setback patterns of other accessory buildings on the property where they are visible from the street.
- b. Additions to accessory buildings shall be lower in height than the main building.

- c. Additions to accessory buildings shall be compatible in style, form, and materials where they are visible from the street.
- d. The reconstruction of replacement accessory structures in the same location and in the same design as the original is encouraged, where adequate documentation is available.

3. STANDARDS FOR NEW CONSTRUCTION

Accessory buildings shall be compatible with other accessory buildings in the neighborhood.

5.3 MATERIALS

A. GENERAL

The predominant materials in the neighborhood are described in Section 4.3 and in Section 3 (Architectural Style Guide). It is the intent of these Standards to maintain consistency in the choice of and quality of materials for additions and new construction with the historic materials. Substitute materials in many respects can achieve the same effect as the historic material, sometimes with improved performance. In some instances, substitute materials do not provide equivalent quality and craftsmanship and thus are not compatible with historic materials; these materials are not permitted.

B. STANDARDS FOR ADDITIONS

- 1. Materials that are used in additions shall be compatible with the materials of the historic building.
- 2. Materials that are appropriate to the style of the building shall be used in additions.
- 3. The following substitute materials are not permitted for additions:
 - a. Simulated stone.
 - b. Vinyl and aluminum siding.

- c. Veneer brick consisting of a thin cementitious material scored and colored to simulate brick.
- d. Plastic and vinyl fencing.
- e. Plastic divider strips applied to the interior face of glass to simulate divided light windows.
- f. Reflective metal materials such as polished sheet metal.
- g. Reflective and heavily tinted glass.

C. STANDARDS FOR NEW CONSTRUCTION

- 1. Materials that are commonly found in the neighborhood as described in Section 4.3 and in Section 3 (Architectural Style Guide) shall be used for new construction.
- 2. The materials listed in Section 5.3.B.3 are not permitted.

6. STANDARDS FOR NON-CONTRIBUTING PROPERTIES

Applicability: The Standards for Non-Contributing Properties apply to non-contributing properties. Contributing and non-contributing properties are identified in Section 2.

It is recognized that the neighborhood includes historic buildings with alterations and additions that have diminished the historic integrity of the original building, as well as buildings built after 1961; these properties have been defined as non-contributing to the historic character of this neighborhood. It is not the intent of these standards to preserve these non-contributing properties; however, when changes are proposed, it is the intent of these standards to guide these non-contributing properties toward a more appropriate design that is consistent with the character of the neighborhood.

Non-contributing properties may be demolished. The new construction that will take the place of the demolished building shall meet the site standards for additions and new construction and the standards for additions and new construction in this section.

Additions to non-protected facades shall be appropriate for the neighborhood.

New construction replacing non-contributing properties shall be appropriate for the neighborhood.

6.1 SITE DEVELOPMENT

A. GENERAL

Typically, the main buildings in the neighborhood are set back more than twenty-five feet from the street, but not consistently; therefore, there is no consistent dimension for front yard setbacks and the minimum standard is based on that established for the Neighborhood Prevailing Overlay Districts (NPO) in the Unified Development Code. Historically, minimum side and rear yard requirements were not in place, so accessory buildings, for example, are sometimes placed on or very near the side or back property line. These characteristics of the historic development are intended to be protected by the standards below. Where a property is

non-contributing, and by definition does not have historic attributes protected by these Standards, the minimum standard shall apply.

B. STANDARDS

1. MINIMUM FRONT SETBACK

- a. Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.
- b. Reconstructed historic buildings or features of buildings, including accessory buildings, that are proposed to be reconstructed based on documentary evidence of their historic appearance and location, due to poor condition or damage, shall be permitted to be constructed in the same location as the historic building.

2. MAXIMUM FRONT SETBACK

- a. Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.
- b. Reconstructed historic buildings or features of buildings, including accessory buildings, that are proposed to be reconstructed based on documentary evidence of their historic appearance and location, due to poor condition or damage, shall be permitted to be constructed in the same location as the historic building.

3. MINIMUM SIDE STREET SETBACK

- a. Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.
- b. Reconstructed historic buildings or features of buildings, including accessory buildings, that are proposed to be reconstructed due to poor condition or damage, shall be permitted to be constructed in the same location as the historic building.

4. MINIMUM LOT SIZE

Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.

5. BUILDING HEIGHT

The maximum building height shall be limited to the maximum height of the existing historic main buildings along one street front. Non-historic construction and non-contributing properties shall not be used to determine the maximum building height. The existing height shall be measured to the peak or ridge of the highest roof on the main building.

6. MAXIMUM LOT COVERAGE

Refer to the Neighborhood Preservation Overlay (NPO) of the Unified Development Ordinance for requirements.

7. GARAGE AND CARPORT LOCATION AND ORIENTATION

- a. Garages are permitted within the hatched area indicated on Diagram 6-1 for corner lots and Diagram 6-2 for interior lots.
- b. Garages shall be separated from the main building and under an independent roof, except on Ranch style and Populist Modern style buildings.
- c. Garages shall be set back from the front of the main building by a minimum of twenty feet, except on Ranch style and Populist Modern style buildings.
- d. Carports are not permitted, except on Ranch style and Populist Modern style buildings and when located such that the carport is not visible from the street.
- e. Attached garages and carports are permitted as additions on Ranch style and Populist

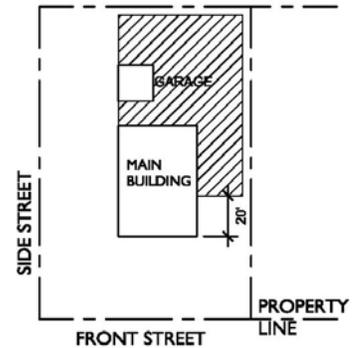


DIAGRAM 6-1 AREA OF PERMITTED GARAGE LOCATIONS FOR CORNER LOTS

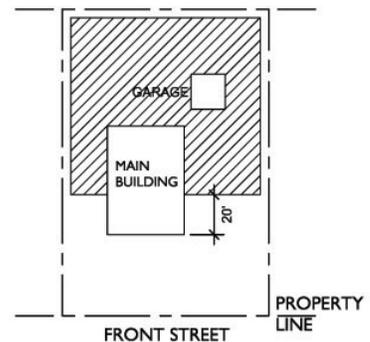


DIAGRAM 6-2 AREA OF PERMITTED GARAGE LOCATIONS FOR INTERIOR LOTS

Modern style buildings and shall be governed by the following standards:

- i. Attached garages and carports on the front of the building shall be set back a minimum of five feet from the front façade of the main building.
 - ii. Attached garages and carports on the side street facades of the building shall be flush or set back from the side façade of the main building.
 - iii. An attached garage is permitted at the rear of the main building when it is not visible from the street.
- g. A covered but open air walkway is permitted to connect a detached garage to the main building if it is open on all sides, except for the roof.

8. WALKWAYS

- a. Primary walkways shall be located perpendicular to the street, straight or curvilinear and shall conform to the following standards:
 - i. Use concrete, brick, or stone as the material.
 - ii. Be less than four feet in width.
 - iii. Incorporate steps and/or retaining walls if necessary.
- b. Secondary walkways are permitted.

9. DRIVEWAYS

- a. Driveways shall be located perpendicular to the street with a straight or curvilinear connection to the garage or carport.
- b. Driveways shall be not more than ten feet wide within the front yard setback and for a distance of at least an additional twenty feet behind the front façade, with the exception of Ranch style and Populist Modern style



IMAGE 6-3 LANDSCAPING OF HEIGHT GREATER THAN 4 FEET AT FRONT YARD ALONG PROPERTY LINE IS NOT PERMITTED

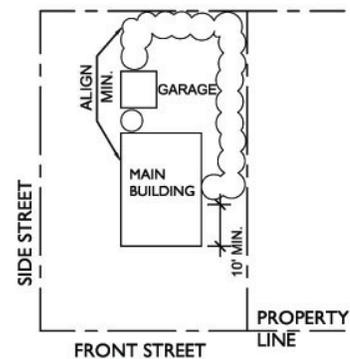


DIAGRAM 6-4 – PERMITTED HEDGE LOCATION AT CORNER LOT



DIAGRAM 6-5 PERMITTED HEDGE LOCATION AT INTERIOR LOT

buildings, for which wider driveways are permitted.

- c. Circular driveways are not permitted.
- d. Side-by-side driveways, where a driveway is placed next to a neighboring property driveway, is not permitted unless there is no reasonable alternative.

10. LANDSCAPE

Hedges and planting four feet tall or more is not permitted along property line within front yard setback and shall not encroach on front and side yards beyond the areas indicated on Diagram 6-4 for corner lots and Diagram 6-5 for interior lots (example Image 6-3).

11. FENCING AND SITE WALLS

- a. Fencing shall not encroach on the front yard or cornerside yard beyond the areas indicated in Diagram 6-6 for corner lots and 6-7 for interior lots; however, in the event that a window, door or other character defining feature occurs at the required fencing setback line, the fence shall be located further away from the street to avoid such features.
- b. Permitted fencing materials include wood, metal, stone, chain link, or iron.
- c. Permitted site wall materials include concrete, stone, or brick.
- d. Site walls shall be limited in height to that required for retaining earth.
- e. Plastic, vinyl and sheet metal fencing is not permitted.
- f. For height limitations, refer to the Unified Development Ordinance for requirements.
- g. Fencing style shall be appropriate to the style of the main building.

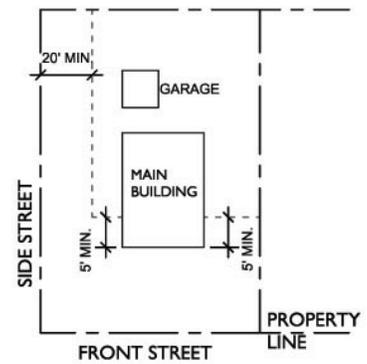


DIAGRAM 6.6 PERMITTED FENCING LOCATION ON CORNER LOTS

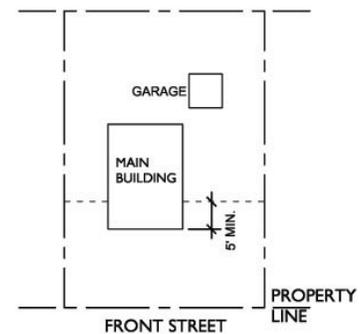


DIAGRAM 6.7 PERMITTED FENCING LOCATION ON INTERIOR LOTS

6.2 FEATURES

For non-contributing properties that were constructed before 1961, it is recommended that earlier features and construction be uncovered and exposed to view to determine if the property could be contributing. The removal of later construction would allow for an evaluation of the historic significance and potentially identification of a style.

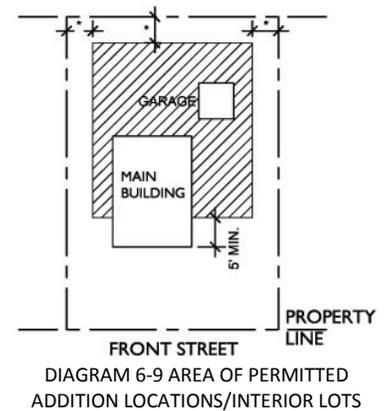
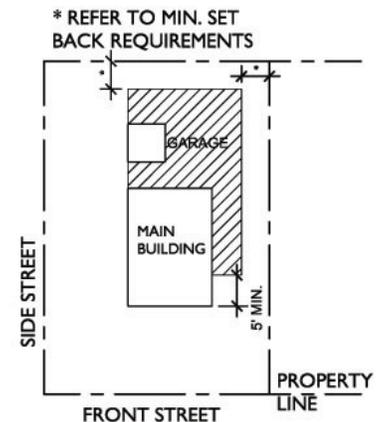
A. FORM AND STYLE

1. GENERAL

Refer to Section 3 (Architectural Style Guide), other style guides and other property in the neighborhood for appropriate design precedents.

2. STANDARDS FOR ADDITIONS

- a. Additions located at the rear of the property, where they are not visible from the street, are encouraged.
- b. Horizontal additions shall be set back a minimum of five feet from the adjacent front façade and within the area or permitted addition locations indicated in Diagram 6-8 for corner lots and 6-9 for interior lots.
- c. Vertical additions are limited by the height of the existing building within sight lines visible from the street. Refer to Diagram 4.3 to define sight lines for visibility.
- d. Additions shall be designed to be appropriate to the style of the building.
- e. Additions shall be compatible in form, scale, materials, and workmanship, and shall not result in the diminution or loss of historic character of the neighborhood.
- f. Additions shall be designed such that they are visually distinct from the historic buildings in the neighborhood and in a



manner that makes clear what is historic and what is new.

- g. Additions that accurately replicate or imitate the historic style of historic buildings in the neighborhood are not permitted.

3. STANDARDS FOR NEW CONSTRUCTION

- a. Historically accurate replicas or imitations of buildings not originally on the property are not permitted; however, accurate reconstructions of buildings or portion of buildings that once existed on the property, where there is adequate documentation to support reconstruction, is permitted.
- b. New construction shall be compatible with the scale and form of the historic main buildings in the neighborhood.

B. PORCHES, STOOPS, AND PORTE-COCHERE

I. GENERAL

Historic porches, stoops and porte-cochere are features that provide interest and character to a building which helps to make new construction more compatible with the historic character of the neighborhood. The neighborhood includes a wide variety of size and types of porches from attached covered porches to inset types that are housed under the main roof of the building. A stoop is used to accentuate an entrance walk or the entrance to the building in a subtle way while a porte-cochere provides a covered passage for automobiles while shielding the garage structure from the street.

2. STANDARDS FOR ADDITIONS

- a. Additions to historic porches, stoops, and porte-cochere are not permitted.
- b. The addition of a porch, stoop or porte-cochere on a main building that did not originally have this feature is not permitted.

- c. The reconstruction of a porch, stoop or porte-cochere based on adequate documentation of the historic appearance is encouraged.

3. STANDARDS FOR NEW CONSTRUCTION

- a. Porches, stoops and porte-cochere are encouraged in new construction.
- b. Porte-cochere are not permitted to be located directly in front of the main building entrance.

C. DOORS

1. GENERAL

Entrance doors are often used to create interest and a focal point for a front façade, through the use of moldings, porches, stoops, decorative surrounds, and special door designs and color. Front doors often include screen doors also.

2. STANDARDS FOR ADDITIONS

Doors shall be compatible in style, form, size, and material with the historic buildings in the neighborhood.

3. STANDARDS FOR NEW CONSTRUCTION

- a. One primary front door or pair of doors shall be provided. Additional entrances may be provided but their design shall be less prominent than that of the primary entrance
- b. Doors shall be compatible in size and material with the historic buildings in the neighborhood.

D. WINDOWS

1. GENERAL

Windows are one of the most character defining features of a building. Windows shall maintain consistency in style, dimension, and material with historic windows. Historically, windows included screens on the exterior, or interior for some types of windows. Historic windows are typically made of

one sheet of glass per light, while today's more energy efficient windows typically employ two sheets of glass with a divider strip between them that creates an air space.

2. STANDARDS FOR ADDITIONS

- a. Windows shall be compatible in style, form, size, and material with the historic windows of the neighborhood.
- b. The proportion of windows and the ratio of window to wall shall be similar to that of the historic buildings in the neighborhood.
- c. Windows with multiple panes shall use true divided lights or simulated divided lights that include a muntin with a dimension similar to that of a true divided light on the interior and the exterior of the glass. Muntins that are flat and applied on the interior of the window are not permitted to simulate divided lights.
- d. Window screens that match the historic window screens are encouraged.
- e. Window shutters, where appropriate to the style of the building are encouraged.

3. STANDARDS FOR NEW CONSTRUCTION

Windows with multiple panes shall use true divided lights or simulated divided lights that include a muntin with a dimension similar to that of a true divided light on the interior and the exterior of the glass. Muntins that are flat and applied on the interior of the window to simulate divided lights are not permitted.

E. ROOFING

I. GENERAL

Roofs that are visible from the street are character defining features of a building and one of the most important components to maintain in good condition in order to preserve other historic features and

materials. Roofs include drainage components such as gutters and downspouts, chimneys and flashing, and sometimes decorative features such as cresting, dormer windows, and special trim elements.

2. STANDARDS FOR ADDITIONS

Roofing shall match or be similar to the historic roofing in the neighborhood.

3. STANDARDS FOR NEW CONSTRUCTION

Roofing shall be compatible in scale and material with the historic buildings in the neighborhood.

F. EXTERIOR LIGHTING

1. GENERAL

Historic lighting at primary entrances and porches is protected. Supplemental lighting may be required to meet current expectations for light levels and for security purposes.

2. STANDARDS FOR ADDITIONS

- a. Exterior lighting on additions shall be compatible with historic exterior lighting of the neighborhood.
- b. The addition of exterior lighting shall be compatible with the historic lighting of the neighborhood.
- c. Extensive exterior lighting that increases the light level at the addition beyond the light level at the front door of the building is discouraged.
- d. Locating utilitarian security lighting out of view from the street is encouraged.

3. STANDARDS FOR NEW CONSTRUCTION

Lighting shall be compatible in scale and material with the historic buildings in the neighborhood.

G. MECHANICAL SYSTEMS

1. GENERAL

Mechanical equipment such as condensing units or large ventilation fans can be inappropriate additions to front facades.

2. STANDARDS FOR ADDITIONS

- a. Mechanical equipment shall be located where it is not visible from a public street or where it can be shielded from view by landscaping.
- b. Large mechanical vents shall be located where it is not visible from a public street.

3. STANDARDS FOR NEW CONSTRUCTION

- a. Mechanical equipment shall be located where it is not visible from a public street or where it can be shielded from view by landscaping.
- b. Large mechanical vents shall be located where they are not visible from a public street.

H. ACCESSIBILITY

1. GENERAL

For standards regarding alterations to a non-contributing building, including the construction of a new ramp, refer to Section 4. I. For standards regarding an addition for a lift or elevator, refer to the standards below:

2. STANDARDS FOR ADDITIONS

- a. A lift or elevator addition shall be located where it is not visible from a public street, where possible.
- b. For standards regarding a lift or elevator addition refer to Section 5.2H.
- c. A lift or elevator shall be compatible in style, scale, and material with the historic main building.

3. STANDARDS FOR NEW CONSTRUCTION

Elements associated with accessibility shall be compatible in scale and material with the historic buildings in the neighborhood.

I. ENVIRONMENTAL

1. GENERAL

Reducing energy costs, designing sustainable buildings and protecting our environment are important goals that sometimes conflict with preservation of historic buildings. These standards intend to encourage energy efficient and sustainable design wherever there are no adverse effects on the historic character of the neighborhood.

2. STANDARDS FOR ADDITIONS

- a. Green roofs, defined as planted roof areas, are permitted where they are not visible from the street.
- b. Rainwater harvesting is permitted where it is not visible from the street.

3. STANDARDS FOR NEW CONSTRUCTION

Refer to standards for additions above.

J. ACCESSORY BUILDINGS

1. GENERAL

Accessory buildings are generally smaller in size and simpler in detail than the main building, and are often garage buildings. Some properties in the neighborhood have more than one accessory building.

2. STANDARDS FOR ADDITIONS

- a. Additions to accessory buildings shall follow the historic setback patterns of other accessory buildings on the property where they are visible from the street.
- b. Additions to accessory buildings shall be lower in height than the main building.

- c. Additions to accessory buildings shall be compatible in style, form, and materials where they are visible from the street.
- d. The reconstruction of replacement accessory structures in the same location and in the same design as the original is encouraged, where adequate documentation is available.

3. STANDARDS FOR NEW CONSTRUCTION

Accessory buildings shall be compatible with other accessory buildings in the neighborhood.

6.3 MATERIALS

A. GENERAL

The predominant materials in the neighborhood are described in Section 4.3 and in Section 3 (Architectural Style Guide). It is the intent of these Standards to maintain consistency in the choice of and quality of materials for additions and new construction with the historic materials. Substitute materials in many respects can achieve the same effect as the historic material, sometimes with improved performance; however, in some instances, substitute materials do not provide equivalent quality and craftsmanship and thus are not compatible with historic materials; these materials are not permitted.

B. STANDARDS FOR ADDITIONS

- 1. Materials that are used in additions shall be compatible with the materials of the historic buildings of the neighborhood.
- 2. Materials that are appropriate to the style of the building shall be used in additions.
- 3. The following substitute materials are not permitted for additions:
 - a. Simulated stone.
 - b. Vinyl and aluminum siding.

- c. Veneer brick consisting of a thin cementitious material scored and colored to simulate brick.
- d. Plastic and vinyl fencing.
- e. Plastic divider strips applied to the interior face of glass to simulate divided light windows.
- f. Reflective metal materials such as polished sheet metal.
- g. Reflective and heavily tinted glass.

C. STANDARDS FOR NEW CONSTRUCTION

- 1. Materials that are commonly found in the neighborhood as described in Section 4.3 and in Section 3 (Architectural Style Guide) shall be used for new construction.
- 2. The materials listed in Section 6.3.B.3 are not permitted.

7. DEFINITIONS

1. **ACCESSORY BUILDING** means a structure, such as a detached garage, shed, gazebo, or other building that supports the function of the principal building on the site and that is subordinate to this principal building.
2. **ADDITION** means construction that increases the size of the original structure by building outside of the existing walls and/or roof. Additions can be either horizontal or vertical.
3. **ALTERATION** means an act that changes one or more of the exterior architectural features of a structure or its appurtenances, including but not limited to the erection, construction, reconstruction, or removal of any structure or appurtenance.
4. **APPROPRIATE** means typical of the historic architectural style, compatible with the character of this property or district, and consistent with these preservation criteria.
5. **ARCHITECTURAL STYLE** means a category of architecture of similar buildings distinguished by similar characteristics of construction, design, materials, etc.
6. **AWNING** means a roof-like cover extending over a window or door, intended to provide the pedestrian protection against sun, rain, and wind. Awnings are usually made of soft canvas or other fabric and may be fixed or adjustable.
7. **BOARD AND BATTEN** means a type of wall cladding for wood frame houses where applied boards are closely spaced, usually placed vertically, the joints of which are covered by narrow wood strips.
8. **CANOPY** means a projecting roof structure that shelters an entrance to a building.
9. **CERTIFICATE OF APPROPRIATENESS** means a certificate required by section 3.9 of the College Station Unified Development Code when there is a proposal for any construction, reconstruction, alteration, restoration, or relocation.
10. **CHARACTER DEFINING FEATURE** means those important architectural materials or features that constitute the building's historic significance as determined by the local Historic Preservation Officer or the local Landmark Commission. Character defining features may include a historic building's form, materials, features, craftsmanship, decorative details, as well as its site environment.
11. **COLUMN** means the entire column, including the base, shaft and capital.
12. **COMPATIBLE** means a design or use that maintains the historical appearance of a building and does not require irreversible alteration.
13. **CONSTRUCTION** means the act or business of building a structure or part of a structure.

- 14. CONTRIBUTING PROPERTY (BUILDING/STRUCTURE/SITE)** means a building, structure, or site which reinforces the visual integrity or interpretability of a historic district. A contributing property is not necessarily “historic” (50 years or older). A contributing property may lack individual distinction, but may add to the historic district’s status as a significant and distinguishable socio-cultural entity.
- 15. DEMOLITION** means an act or process that destroys or razes a structure or its appurtenances in part or in whole, or permanently impairs its structural integrity, including its ruin by neglect of necessary maintenance and repairs.
- 16. DISTRICT** means a historic district within the City of College Station. Specifically the Oakwood Historic District.
- 17. DOUBLE-HUNG SASH WINDOW** means a window with two parts (sashes) that overlap slightly and slide up and down within a frame.
- 18. ENTRY** means a door, gate, or passage used to enter a building.
- 19. ERECT** means to attach, build, draw, fasten, fix, hang, maintain, paint, place, suspend, or otherwise construct.
- 20. FENCE** means a structure or hedgerow that provides a physical barrier, including a fence gate.
- 21. FENESTRATION** means the proportion and size of window and door openings and the rhythm and order in which they are arranged.
- 22. FORM** means the size, shape, and massing of a building.
- 23. HISTORIC** means a property, building, element or material that dates either to the original construction date or to some later but important alternation date that is consistent with the historic designation significance for the historic district.
- 24. INFILL CONSTRUCTION** means construction on property between or adjacent to existing buildings.
- 25. INTEGRITY** means a measure of the authenticity of a property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s historic period in comparison with its unaltered state.
- 26. INTERIOR SIDE FAÇADE** means a façade not facing a public street or alley.
- 27. INTERIOR SIDE FENCE** means a fence not adjacent to a public street or alley.
- 28. INTERIOR SIDE YARD** means a side yard not abutting a public street or alley.
- 29. LANDSCAPE** means the whole of the exterior environment of a site, district, or region, including landforms, trees, and plants.

- 30. MAIN BUILDING** means the primary residential building on the site.
- 31. MODIFY or MODIFICATION** means to make changes to an existing structure.
- 32. MULLION** means a wide upright bar dividing two window units within a frame.
- 33. MUNTIN** means a strip of wood or other material that separates lights or panes of glass within a window sash.
- 34. NEW CONSTRUCTION** means the act of adding to an existing structure or erecting a new principal or accessory structure or appurtenances to a structure, including, but not limited to, buildings, extensions, outbuildings, fire escapes, and retaining walls.
- 35. NON-CONTRIBUTING PROPERTY (BUILDING/STRUCTURE/SITE)** means a building, structure, or site which detracts from the visual integrity or interpretability of a historic district.
- 36. ORDINARY MAINTENANCE AND REPAIR** may be permitted without a Certificate of Appropriateness. For the definition of ordinary maintenance, refer to the Unified Development Ordinance.
- 37. PORCH** means a covered and floored area of a building, especially a house that is open at the front and usually the sides.
- 38. PUBLIC STREET** means a public right-of-way that is not an alley or a utility right-of-way.
- 39. PORTE-COCHERE** means a roofed structure covering a driveway at the entrance or side of a building to provide shelter to those entering or leaving a vehicle.
- 40. PRESERVATION** means the act or process of applying measures necessary to sustain the existing form, integrity, and materials of a historic property.
- 41. PROPORTION** means the dimensional relationship between one part of a structure or appurtenance and another. Façade proportions involve relationships such as height to width, the percent of the façade given to window and door openings, the size of these openings, and floor-to-ceiling heights. Often described as a ratio, proportions may be vertical (taller than wide), horizontal (wider than tall), or non-directional (equally tall and wide).
- 42. PROTECTED** means an architectural or landscaping feature that must be retained and maintain its historic appearance, as near as practical, in all aspects.
- 43. REHABILITATION** means the act or process of making possible a compatible use for a historic property thru repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.
- 44. REPAIR** means fixing a deteriorated part of a building, structure, or object, including mechanical or electrical systems or equipment, so that it is functional; may involve replacement of minor parts.

- 45. REPLACEMENT** means to interchange a deteriorated element of a building, structure, or object with a new one that matches the original element as closely as possible.
- 46. REPLICATION** means to accurately reconstruct an element of a building, structure or object using the original element as a model or mold.
- 47. REPOINTING** means repairing existing masonry joints by removing defective mortar and installing new mortar.
- 48. RESTORATION** means the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time.
- 49. SCALE** means the relative proportion of a building to neighboring buildings, or of a building to a pedestrian observer.
- 50. SETBACK** means the horizontal distance between a structure's vertical planes and a reference line, usually the property line.
- 51. SITE** means the land on which a building or other feature is located.
- 52. SOLID-TO-VOID RATIO** means the proportion of window and door openings to wall surface area in the exterior wall of a building.
- 53. STOOP** means a small porch, platform, or staircase leading to the entrance of a house.
- 54. STRUCTURE** means anything constructed or erected, on the ground or attachment to something having a location on the ground, including but not limited to buildings, gazebos, billboards, outbuildings, and swimming pools.

8. APPENDIX

8.1 SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The ten standards below comprise the Secretary of the Interior's Standards for Rehabilitation, developed to guide work undertaken on historic buildings; the intent is to assist with the long-term preservation of a property's significance through the preservation, restoration, rehabilitation or reconstruction of historic materials and features. These standards are incorporated in the City of College Station's enabling ordinance for the Historic Preservation Program as the standards that govern historic districts and properties. These standards are subject to changes by the U.S. Department of the Interior and are reproduced here for convenience.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

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