

Not an Ordinance-For Discussion Only

# *Medical District*

College Station Medical District Master Plan

Implementation Report

October 2012

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## *Introduction*

In 2011, the City of College Station partnered with the College Station Medical Center (The Med) and other stakeholders in the creation of a Medical District that will create new economic opportunities centered around healthcare and wellness. The Medical District focuses on the general area around State Highway 6 and Rock Prairie Road, including The Med and the future Scott & White Hospital, both along Rock Prairie Road. The City's 2009 Comprehensive Plan identifies this area as one of several unique districts located within the City.

The City's consulting team, led by Schrickel, Rollins and Associates, Inc. worked with a City Council appointed Advisory Committee consisting of various stakeholders from throughout the community. The Advisory Committee, consultant team, and staff completed their work on the draft plan for the Medical District in late 2011 and the results were presented to a joint meeting of the City Council and the Advisory Committee. Since that time, staff has worked to refine the land use and transportation components of the Master Plan, including expanding the Medical District to include properties further to the south. Implementation of several elements of the Medical District Master Plan have progressed during this time, including design of the Rock Prairie Road Bridge, purchase of additional right-of-way along Rock Prairie Road to accommodate its expansion, support of the Senior Housing project adjacent to The Med, and completion of the sewer line to serve the Scott & White Hospital.

The Medical District Master Plan is an amendment to the City's Comprehensive Plan, altering the Future Land Use and Character map, the City's Thoroughfare Plan, and Thoroughfare Context map. In response to changed thoroughfare alignments, the City's Water Master Plan, Proposed Pedestrian Facilities, and Proposed Bicycle Facilities maps will also be amended in conjunction with the new thoroughfares. Additional trails have also been added to the Proposed Pedestrian Facilities map in the Bicycle, Pedestrian, and Greenways Master Plan to create the walkable community envisioned by the Medical District Master Plan.

Concurrent with requesting action on adoption of the Master Plan, staff identified three implementation tools that will be developed further following adoption of the Plan. These implementation tools are: management, marketing, and operations; capital improvements; and regulations and standards. This report provides the frameworks and preliminary strategy for each of the implementation tools needed for the success of the Medical District.

### **Management, Marketing, and Operations**

To succeed the District needs to have an intentional focus on its management, marketing, and operation as a unique place in College Station. This focus requires formal management structure, a specific communications and marketing program, and identified funding mechanism to both implement the vast capital needs, but also the unique operational requirements. This will include consideration of such items as Municipal Management Districts, Public Improvement Districts, etc.

### **Capital Improvements**

To succeed the District needs to have a reliable way to fund and construct the varied and extensive capital improvements needed in the area. These improvements range from upgrades to the transportation network to expanded wastewater facilities. The proposal for this tool will include identifying the amount of funding needed and the appropriate sources for this funding. This will include consideration of such items as a Capital Improvements Program, Tax Increment Financing, Assessments, etc.

### **Regulations and Standards**

To succeed, the District needs to have land use, development, and design regulations and standards that ensure the substantial public and private investments made in the area are supported with wise land use and quality development that yield prosperity for all parties. The appropriate type and extent of regulations and standards will be explored as a part of this proposal. This will include consideration of such items as form-based codes, zoning overlays, etc.

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## District Infrastructure and Capital Costs

The Medical District includes areas that are largely undeveloped, as well as areas that are fully developed but have either aging or overcapacity infrastructure needing significant upgrades and improvements. Though there are some funded capital projects to serve this area, the majority of the needed infrastructure projects are unfunded. This section identifies and quantifies the “Funded” and “Unfunded” major projects: thoroughfares, sanitary mains, water mains, and greenway trails. In addition to separating the funded projects, projects beyond the 10-year planning horizon are described as “Future.” Further specifics for each of these are provided in each section. Exhibits for each type of infrastructure with funding and infrastructure sizing are also provided in Appendix A of this Report.

### Summary - Unfunded Projects

<b>Thoroughfares</b>	\$42,765,000
<b>Sanitary Mains</b>	\$9,290,000
<b>Water Mains</b>	\$3,013,000
<b>Greenway Trails</b>	\$3,640,000
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<b>Total</b>	\$58,708,000

All identified costs are for infrastructure to serve the Medical District, and are primarily *within* the District boundary. The largest exception is sewer, which requires, and the costs include, notable offsite improvements beginning at the Lick Creek Wastewater Treatment Plant. It should be noted that expanded sewer service is critical for development and redevelopment of much of the Medical District (east of State Highway 6). Again, the costs and timing for the noted sewer improvements are significant factors. However, it is important to note that the majority of the acreage south of the proposed Pebble Creek Parkway *currently* has sanitary sewer service, and the parkway construction plans have been completed. A second exception to note, is a Greenway Trail titled within this document as “Lick Creek (northwest),” which extends beyond the District boundary to create a loop on the western reaches of the District.

Again, the infrastructure identified and estimated is the *primary* or *main infrastructure* to serve the area. Additional future infrastructure will be required by and with the specific developments. This primary infrastructure, for the most part, has been previously planned and sized through general master planning efforts such as the Thoroughfare Plan, Wastewater Master Plan, etc. In general, the City will likely play a larger role in participating or funding the initial primary infrastructure, where private developers will likely be responsible for all additional infrastructure. This additional infrastructure is not depicted or quantified in any form in this Report, though development will require many further minor extensions. For example, several roadways will be required in addition to the primary thoroughfares,

not only to serve new lots, but to break block length, provide connectivity, secondary emergency access, etc.

It should be noted that the majority of this planned infrastructure is required for the development of this area even if the Medical District is not formed. However, this District effort, in short, plans to focus and broaden medical and urban uses, enhance and accelerate the delivery of primary infrastructure, and establish financial mechanisms to make this possible and attractive, to ultimately bring an increased tax base of medical uses and activity, as well as urban densities, which likely would not occur otherwise.

For the purpose of this Report, “funded” generally means either the project was included and approved within a bond election (i.e. Thoroughfares and Trails), included within Water Services 5-Year Budget (i.e. Water and Sanitary Mains), funded by the State, or funded privately, etc. “Funded” does not necessarily mean that construction costs, for example, are actually currently appropriated.

All infrastructure is proposed to follow the Bryan / College Station Unified Design Standards, except as otherwise noted in the Medical District Master Plan. Some modifications or enhancements may be necessary for further beautification or branding, etc.

Note that though significant to the success of the Medical District, the following items were not included or estimated within this Report: way-finding, district branding, hardscape enhancements, transit, bus stops, and private utilities. The provided estimates were intended to be conservative, or inflated, to account for design costs, future construction costs, unforeseen considerations, some enhancements, and contingencies. In the future, with more detailed information, the estimates should be updated for more accurate planning.

Additionally, a future water tower near Scott & White Hospital campus, Carters Creek Wastewater Treatment Plant expansion, and a future Graham Road Electric SubStation, as identified in City Master Plans, have not been included in these estimates as each were not deemed necessary for the specific development of the District; though again, each would be appropriate for future planning consideration.

## **Thoroughfare Infrastructure**

The proposed modifications to roadway alignments and classifications were specifically laid out and designed for this proposed District, while at the same time maintaining the approved conclusions from the Eastside Traffic Study for Rock Prairie Road and Barron Road. These modifications will require an amendment to the City’s Comprehensive Plan - Thoroughfare Plan. It should be noted that Thoroughfare Plan alignments are general and can be adjusted, in some circumstances, up to 1,000 feet.

The base roadway improvements are roughly estimated at from \$15 to \$18 per square foot of road pavement. Further costs are added to include design, sidewalks, floodplain mitigation, bridges, electric lines, streetlights, signals, pavers, enhanced vegetation, etc.

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## Thoroughfares

Description	From	To	Class	Pvmt (ft)	Length (ft)	Cost (\$)
<b>Rock Prairie E</b>	SH 6	Bird Pond	4 Ln Maj Art	78	5,200	\$6,604,000
<b>Rock Prairie W</b>	Longmire	Normand	4 Ln Min Art	72	1,800	\$2,502,000
<b>Bird Pond</b>	Rock Prairie	Lakeway	4 Ln Min Art	72	2,800	\$3,290,000
<b>Bird Pond</b>	Lakeway	SH 6	2 Ln Min Coll	38	2,000	\$3,040,000
<b>Pebble Creek</b>	SH 6	WD Fitch	4 Ln Maj Coll	52	7,900	\$9,197,000
<b>Unnamed</b>	Rock Prairie	Lakeway	2 Ln Min Coll	38	2,300	\$3,367,000
<b>Barron</b>	Lakeway	Rock Prairie	4 Ln Min Art	72	5,400	\$6,345,000
<b>Double Mtn</b>	Medical	Barron	2 Ln Min Coll	38	5,100	\$3,927,000
<b>Normand</b>	Graham	Arnold	2 Ln Min Coll	38	1,900	\$1,463,000
<b>Lakeway</b>	Medical	Barron	4 Ln Maj Coll	54	3,000	\$3,030,000
<b>Unfunded Thoroughfares Subtotal</b>						<b>\$42,765,000</b>
<b>Lakeway</b>	Barron	Spring Creek	4 Ln Maj Coll	54	5,300	\$9,868,000
<b>Barron</b>	SH6	Lakeway	4 Ln Min Art	72	2,000	\$5,418,000
<b>Rock Prairie BR</b>	-	-	Bridge			\$4,600,000
<b>Rock Prairie W</b>	SH6	Longmire	6 Ln Maj Art	81	700	\$2,407,000
<b>Rock Prairie E</b>	Bird Pond	WD Fitch	2 Ln Min Coll R	30	10,600	\$2,055,000
<b>Normand</b>	Rock Prairie	Arnold	2 Ln Min Coll	38	800	\$616,000
<b>Funded Thoroughfares Subtotal</b>						<b>\$24,964,000</b>
<b>Rock Prairie E</b>	Bird Pond	Barron	3 Ln Maj Coll	48	4,300	\$4,042,000
<b>Rock Prairie E</b>	Barron	WD Fitch	4 Ln Min Art	72	6,000	\$7,170,000
<b>Rock Prairie W</b>	Normand	Rio Grande	4 Ln Min Art	72	2,000	\$2,780,000
<b>Bird Pond</b>	Rock Prairie	(north)	4 Ln Min Art	72	1,000	\$1,175,000
<b>Double Mtn</b>	Barron	Pebble Creek	2 Ln Min Coll	38	2,600	\$4,002,000
<b>Future Thoroughfares Subtotal</b>						<b>\$19,169,000</b>
<b>Total</b>						<b>\$86,898,000</b>

As noted, street pavement and right-of-way cross-sections match the Bryan / College Station Unified Standards, with the exception that the 4-lane minor arterial medians are increased from 17 feet to 22 feet wide. Additionally, the southern sidewalk along Rock Prairie is proposed to be 10 feet wide. This sidewalk cost is included within the Thoroughfare costs above within each Rock Prairie Road segment; this sidewalk is graphically depicted with the Greenway Trails exhibit.

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As depicted in the Thoroughfares exhibit, portions of Lakeway Drive and Barron Road extensions are currently funded and under design. Specifically, the capital project for Lakeway Drive will complete this roadway from its southern terminus near the St. Joseph campus to the extension of Barron Road. The Barron Road project extends the roadway from State Highway 6 to this noted extension of Lakeway Drive. These extensions of Barron Road and Lakeway Drive, have floodplain crossings and environmental design considerations lengthening the time and effort to design and construct.

Similarly, Rock Prairie Road has various stages of improvements for different segments. Most notable is the State Highway 6 bridge improvements for additional lanes where construction is funded and is under design. Preliminary designs allowed for right-of-way acquisitions to proceed on both the western section between State Highway 6 to Longmire Drive and State Highway 6 to W. D. Fitch Parkway. The Rock Prairie Bridge and west section from State Highway 6 to Longmire Drive are designed to be a 6-lane Major Arterial section with additional turn lanes. Rock Prairie East from Bird Pond Road to W. D. Fitch Parkway is funded for street rehabilitation to be constructed to a 2-Lane Rural Minor Collector section to essentially repair damage ahead of the ultimate expansion. This section and remaining portions of Rock Prairie Road in the District are planned to be beyond the 10-year planning window as depicted in the associated table and exhibit.

The entire Pebble Creek Parkway extension through the Spring Creek Corporate Campus area has been designed, though the construction has not yet been funded.

## Wastewater Main Infrastructure

The identified Wastewater improvements are located and sized in the City's overall Wastewater Master Plan. These large trunk lines were estimated to cost approximately \$400 to \$500 per linear foot. This high cost is due to the alignment following creeks and the associated additional design and construction costs, as well as the excessive depths required. As previously noted, the sewer requires extensive offsite improvements to serve the Medical District.

## Sanitary Mains

Description	From	To	Diameter (in)	Length (ft)	Cost (\$)
Lick Creek - Trunk Ph II	S of Pebble Crk Sub	WD Fitch	36	6,700	\$3,350,000
Spring Creek - Baseline C	WD Fitch	Baseline A / C fork	36	6,000	\$2,640,000
Spring Creek - Baseline A	Baseline A / C fork	Lift Station #2 (SH6)	24	7,500	\$3,300,000
<b>Unfunded Sanitary Subtotal</b>					<b>\$9,290,000</b>
Lick Creek - Trunk Line Ph I	Lick Creek Plant	South of Pebble Crk Sub	36	5,400	\$2,800,000
<b>Funded Sanitary Subtotal</b>					<b>\$2,800,000</b>
Spring Creek - Baseline B	Baseline A / C fork	Lift Station #3 (SH6)	24	5,200	\$2,288,000

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<b>Spring Creek - Baseline B</b>	Baseline A / C fork	Lift Station #3 (SH6)	24	5,200	\$2,288,000
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<b>Future Sanitary Subtotal</b>	<b>\$2,288,000</b>
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Total	<b>\$14,378,000</b>
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There have been several studies approximating flows and line sizes based on planned densities. Most recently, Jones and Carter, Inc. re-studied the proposed Lick Creek sewer lines to analyze line sizing, optimize the proposed alignment and grade, design assumptions, and to update the cost estimate. The line sizing and cost estimates in the table above and the associated exhibit reflect the Jones and Carter adjustments. The Wastewater Master Plan completed by HDR Inc. previously had these Lick Creek lines in the “medium” construction category of 6 to 10 years out. This Medical District Master Plan may need to accelerate this design and construction priority and funding. Though this Plan does not propose changes to the Waste Water Master Plan (other than timing), a Comprehensive Plan amendment is warranted to adopt the adjustments proposed by the Jones and Carter study.

It should be noted that the extension of Baseline A will take Lift station #3 and the Scott & White Lift station offline so that those flows will then be able to gravity flow. Similarly, Baseline B will take Lift station # 2 offline. In general, this layout and design has been accounted for, but there are additional related benefits and savings that have not been itemized here.

## Water Main Infrastructure

The water system is based on the Water Master Plan where most of the proposed mains in the District are sized at a 12-inch diameter with an approximate cost of \$75 per linear foot. The water main alignments are proposed to follow the proposed thoroughfares. The addition of water mains and adjusted alignments will also require a Comprehensive Plan amendment to the existing Water Master Plan.

### Water Mains

Along	From	To	Diameter (in)	Length (ft)	Cost (\$)
<b>Bird Pond</b>	Rock Prairie	SH 6	12	4,800	\$360,000
<b>Pebble Creek</b>	SH 6	WD Fitch	12	8,300	\$695,000
<b>Unnamed</b>	Rock Prairie	SH 6	12	2,300	\$172,500
<b>Barron</b>	Lakeway	Rock Prairie	12	5,400	\$405,000
<b>Barron</b>	SH6	Lakeway	12	2,000	\$150,000
<b>Double Mtn</b>	Medical	Barron	12	5,100	\$382,500
<b>Lakeway</b>	Barron	Spring Creek	12	8,300	\$623,000
<b>Lakeway</b>	Medical	Barron	12	3,000	\$225,000

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**Unfunded Water Subtotal \$3,013,000**

<b>SH 6</b>	Rock Prairie	S&W	18	1,100	\$110,000	
<hr/>					<b>Funded Water Subtotal</b>	\$110,000
<b>Double Mtn</b>	Barron	Pebble Creek	12	2,600	\$195,000	
<hr/>					<b>Future Water Subtotal</b>	\$195,000
<hr/>					<b>Total</b>	<b>\$3,318,000</b>

The water system is to provide potable drinking water, as well as fire flow capacity where the estimate includes fire hydrants, valves, and all associated appurtenances.

## Greenway Trails, Parks, and Open Space Infrastructure

Bicycle and Pedestrian connectivity has been identified as an important feature of the Medical District to create livable neighborhoods that are better connected and safe. This Plan proposes a trail system that connects mixed use developments to neighborhoods and parks and open space. The additional proposed greenway trails would also connect to the Lick Creek Trail that is funded and under design to provide access to regional parks and other areas of the District. The trail layout is based on the Bicycle, Pedestrian, and Greenways Master Plan as well as initial Medical District planning efforts which essentially place trails along existing creek corridors. The addition of Multi-Use Paths (trails) requires a Comprehensive Plan amendment to the Bicycle, Pedestrian, and Greenways Master Plan.

### Greenway Trails

Along	From	To	Width (ft)	Length (ft)	Cost (\$)
<b>Lick Creek (northwest)</b>	Hibiscus	Longmire	10	4,500	\$900,000
<b>Longmire (west side)</b>	Rock Prairie	Graham	10	1,900	\$190,000
<b>S.wood Park (west)</b>	Hibiscus	Rock Prairie	10	1,300	\$260,000
<b>S.wood Park (Rio Grande)</b>	Rock Prairie	Arnold	10	1,200	\$96,000
<b>Arnold Rd</b>	Hibiscus	Normand	8	650	\$44,000
<b>LCT 14</b>	Lakeway	Lick Ck (B)	10	4,600	\$690,000
<b>LCT 11</b>	Rock Prairie	Lick Ck (B)	10	4,400	\$760,000
<b>LCT 10</b>	Rock Prairie	Lick Ck (B)	10	4,000	\$700,000

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		<b>Unfunded Trails Subtotal</b>			<b>\$3,640,000</b>
<b>Lick Creek (east)</b>	SH 6 & Barron	WD Fitch	10	10,000	\$2,000,000
		<b>Funded Trails Subtotal</b>			<b>\$2,000,000</b>
<b>Spring Creek</b>	SH 6	WD Fitch	10	6,600	\$1,320,000
<b>Gulf States Pipeline</b>	SH 6	WD Fitch	10	4,700	\$470,000
		<b>Future Trails Subtotal</b>			<b>\$1,790,000</b>
		<b>Total</b>			<b>\$7,430,000</b>

The trail base estimates range from \$10 to \$20 per square foot with additional costs in floodplain areas for increased related construction costs, foot bridges, etc. Note that the portions of the trail along Rock Prairie Road and the trail proposed within the Gulf States Easement, toward the eastern end of the District, is presumed to be beyond the 10-year planning horizon.

## Parks and Open Space

The City has two Community Parks in the Medical District, the Southwood Athletic Park and the Southeast Community Park. Southwood Athletic Park is a 45 acre Community Park facility that includes various athletic fields, tennis courts, aquatic facilities, a skate park, and a community center with both senior and youth programming. Improvements are projected for the Southwood Athletic Park, including the addition of restrooms near the G. Hysmith Skate Park.

The City purchased Southeast Community Park (66 acres) in 2002 to serve the future needs of south College Station. The property is currently undeveloped and is mostly open with a wooded area along Lick Creek that travels through the south end of the park. Community Parks are generally anticipated to serve the larger community by meeting community-wide recreation needs and typically cost about \$7.6 million to develop. Because the Community Parks in the Medical District are intended to serve the larger community, development costs have not been included with this Report.

It is anticipated that one or more Neighborhood Parks and/or open spaces will be provided in conjunction with the village center and residential development. Neighborhood Parks generally serve about 2,300 people and cost about \$350,000 to develop. Funding for the development of Neighborhood Parks generally comes from parkland dedication funds collected with the development of residential properties, as well as bond initiatives.

## District Management & Finance

The Texas Constitution and multiple State statutes identify the role of economic development by both the State and its municipalities as a public purpose.<sup>12</sup> While recognizing there is “no single strategy, policy, or program for . . . economic development,” the Texas Legislature has created a vast array of tools that local governments have at their disposal.<sup>3</sup> The objective of these tools is to not only encourage development and diversification of the Texas economy, but to simultaneously enhance the participating community’s overall quality of life. Such available tools were carefully evaluated in order to determine how best to implement the College Station Medical District (Medical District) from both an administrative and financial perspective or in the least, and if appropriate, ensure that multiple tools are able to dovetail for optimum effectiveness.

It is important to start at the end and understand the ultimate vision, likely infrastructure needs, and desired amenities to identify appropriate administrative and financial strategies for the Medical District. Knowing these critical details help eliminate tools not compatible or applicable for the creation of the Medical District as envisioned in College Station’s. Following this initial review, a shortlist of potential tools may be identified for further vetting and analysis of its respective governing statutes. In the end, the staff recommendation is to pursue the creation of a Municipal Management District and Tax Increment Reinvestment Zone as the two most appropriate tools to facilitate the implementation of the College Station Medical District.

### **Municipal Management District<sup>4</sup>**

A Municipal Management District (MMD) is a special district created for the purpose of promoting, developing, encouraging, and maintaining employment, commerce, economic development, and general public welfare within a defined area. Its overall purpose is to supplement, *not* supplant city services within the district. Although the district is self governed and must first be supported by a host municipality, MMDs may only be created one of two ways. Either through the Texas Commission on Environmental Quality (TCEQ) pursuant to Chapter 375 of the Texas Local Government Code or by local law enacted by the State Legislature.<sup>5</sup>

A College Station Medical District MMD will be more efficiently created in terms of resources using a local bill co-authored by the Representatives from Texas House District 12 and 14 in lieu of a process administered by TCEQ.<sup>6</sup> Furthermore, a local bill allows for the MMD to be effectively tailored to the

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<sup>1</sup> Article III, Section 52-a of the Texas Constitution adopted November 3, 1987; amended November 8, 2005

<sup>2</sup> e.g. Local Government Code, Tax Code, Transportation Code

<sup>3</sup> International Economic Development Council

<sup>4</sup> Chapter 375 of the Texas Local Government Code

<sup>5</sup> The 83<sup>rd</sup> Texas Legislature will convene beginning January 8, 2013, with all laws being enacted no later than August 26, 2013.

<sup>6</sup> The College Station Medical District is within both Texas House District 12 and 14.

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specific needs of College Station versus the assumed one size fits all approach. Of the 42 *active* Municipal Management Districts identified in an available TCEQ special district database, only three have been created using Chapter 375, while the remaining 39 have been created by the State Legislature via a local law.

For the purpose of this implementation strategy, a College Station MMD is recommended to be created via local law and should contain the following general provisions.

The MMD should be governed by a board of nine directors appointed by the College Station City Council. Following the initial appointment of nine directors, four of the directors including the Chair can be appointed in even numbered years and three directors can be appointed in odd numbered years. In order to be appointed an individual should be a resident of the district, owner of property in the district, owner of stock of a corporate owner of property in the district, an owner of a beneficial interest in a trust that owns property in the district, or an agent, employee, or tenant of an owner of property in the district.

Powers and duties include the levy of an ad valorem tax, assessment, and impact fee on all property within the district, including industrial, commercial, and residential properties. Additionally, the MMD is capable of issuing debt subject to the City Council's approval. Such debt issued by the MMD would not be considered the City of College Station's debt and therefore would not impact the city's ongoing bonding capacity. The above mentioned powers and duties could be used for the standard MMD public purposes already identified in State statute:

- Landscaping,
- Lighting,
- Signs,
- Streets and walkways,
- Drainage,
- Solid waste,
- Water,
- Sewer,
- Power facilities,
- Parks,
- Historic areas,
- Works of art,
- Parking facilities,
- Transit systems,
- Advertising,
- Economic development,
- Business recruitment,
- Promotion of health and sanitation,
- Public safety,
- Traffic control
- Recreation, and
- Cultural enhancements

The MMD may be dissolved at any time by City Ordinance; however the City of College Station would then assume the financial obligations and any property of the MMD.

### Tax Increment Reinvestment Zone<sup>7</sup>

State statute also enables local governments to participate in tax increment financing through the creation of a Tax Increment Reinvestment Zone (TIRZ). According to the Texas Comptroller's *Biennial Report of Tax Increment Financing Zone Registry*, as of December 2010, there were 172 reported tax increment reinvestment zones in Texas. These tools are used to provide large capital projects, infrastructure improvements, or other hard-costs within a created zone. These costs are funded by the increase, or tax increment, of future ad valorem tax revenue within the zone for a participating jurisdiction (e.g. City of College Station, Brazos County) (See Figure 1). A jurisdiction may dedicate all, a portion, or none of the tax increment to the fund. The City of College Station should commit 100% of the increment and ask Brazos County to do the same.

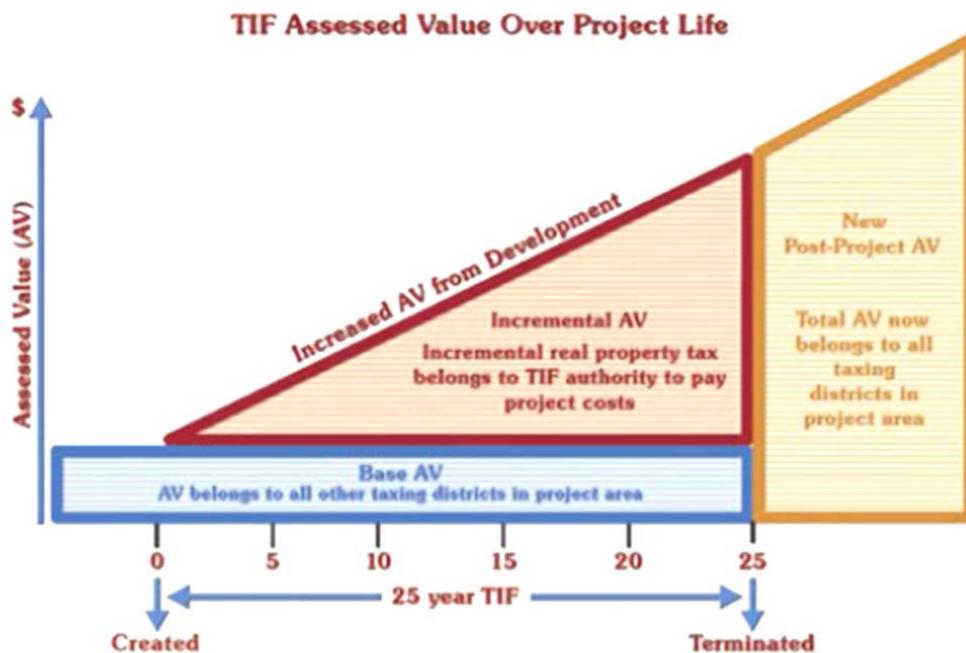


Figure 1<sup>8</sup>

<sup>7</sup> Chapter 311 of the Texas Tax Code

<sup>8</sup> Source: Craig L. Johnson, Indiana University

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Similar to Municipal Management Districts, a TIRZ may only be created one of two ways; either by petition of owners constituting at least 50% of the appraised property value of the affected property or by City Council without a petition contingent upon it meeting specific criteria. Such criteria include:

- The area's present condition impairs the city's growth, retards the provision of housing, or constitutes an economic or social liability to the public health, safety, morals or welfare;
- The area is predominantly open and, because of obsolete platting, deteriorating structures or other factors, it substantially impairs the growth of the local government; or
- The area is in or adjacent to a federally assisted area that has received or will receive assistance in the form of loan guarantees under Title X of the National Housing Act, if a portion of the federally assisted area has received grants under Section 107(a)(1) of the Housing and Community Development Act of 1974.

Once a TIRZ is initiated by petition (or City Council), a series of steps are then required in order to formally create the zone. First, the City must prepare a Preliminary Financing Plan that is also sent to Brazos County and the College Station Independent School District (CSISD). This Financing Plan typically includes the following nine items in addition ancillary background information regarding the TIRZ:

- A detailed list of the estimated project costs of the zone, including administrative expenses;
- A list of the kind, number, and location of all proposed public works or public improvements within the zone;
- An economic feasibility study;
- The estimated amount of bonded indebtedness to be incurred;
- The timing for incurring costs or monetary obligations;
- The methods for financing all estimated project costs and the expected sources of revenues, including the percentage of tax increment to be derived from the property taxes of Brazos County and CSISD;
- The current total appraised value of the taxable real property in the zone;
- The estimated captured appraised value of the zone during each year of its existence; and
- The duration of the zone.

Next, the City must then hold a public hearing on the creation of the TIRZ with a seven day published notice in *The Eagle*. Finally, after the public hearing, City Council may then by ordinance designate a reinvestment zone for tax increment financing purposes and appoint a board of directors.

For a TIRZ created via petition, the board of directors consists must consist of nine members appointed for two year staggered terms. The board is composed of one appointee from Brazos County or CSISD if it elects to participate in the zone. The local State Senator and Representative are each a member of the board unless they choose to appoint a substitute. The remaining members are appointed by the City Council. Members must be at least 18 years of age, and either own real property in the zone or be an employee or agent of a person who owns real property in the zone. Each year the City Council will appoint one member of the board to serve as chairman. Furthermore, State statute specifies that a member of the board of directors of a TIRZ is not considered a public official. Because of this provision,

## *Medical District Master Plan* Implementation Report

the Texas Attorney General has held that a member of City Council is not prohibited from simultaneously serving as a member of the board of directors. To the extent possible, the membership of the TIRZ board should match the MMD board.

After the City Council formally creates the reinvestment zone, the TIRZ board of directors is responsible for then creating a Financing Plan and Project Plan. The Financing Plan may mirror the Preliminary Financing Plan as identified in step one. The Project Plan must include:

- A map showing existing uses and condition of real property within the zone and any proposed improvements;
- Any proposed changes to zoning ordinances, the master plan of the city, building codes, or other municipal ordinances;
- A list of estimated non-project costs; and
- A statement of the method for relocating persons who will be displaced as a result of implementing the plan.

After both the Financing Plan and Project Plan are approved by the TIRZ board of directors, the plans must also be approved by City Council via ordinance. The board of directors may also adopt an amendment to the Project Plan at any time; however it is subject final approval by City Council.

Once a TIRZ is designated and approved (or amended) by City Council, the city must deliver to the State Comptroller's Office a report containing a general description of the reinvestment zone, a copy of the adopted Financing Plan or Project Plan, and "any other information required by the Comptroller."<sup>9</sup> The report must be submitted by April 1 of the year following its designation or approval of its plans.

The city must also submit an annual report to the chief executive of Brazos County and CSISD within 90 days of the end of the fiscal year. The report must include the following items:

- The amount and source of revenue in the tax increment fund established for the zone;
- The amount and purpose of expenditures from the fund;
- The amount of principal and interest due on outstanding bonded indebtedness;
- The tax increment base and current captured appraised value retained by the zone;
- The captured appraised value shared by the city, and Brazos County and CSID;
- The total amount of tax increment received; and
- Any additional information necessary to demonstrate compliance with the tax increment Financing Plan adopted by City Council.

The powers and duties of a board of directors for the College Station Medical District TIRZ is limited. The role of the board of directors for the TIRZ will be to recommend the Financing Plan and Project Plan to City Council, evaluate projects to ensure compliance with the Project Plan, recommend development financing agreements, and recommend the issuance debt to City Council. In contrast, City Council's role

<sup>9</sup> Chapter 311.019(b)(3) of the Texas Tax Code

is to appoint the board of directors, approve the final Financing Plan and Project Plan, approve development financing agreements, and approve the issuance of debt. Additionally, at the City Council's discretion it may also authorize the board of directors for the zone to exercise any of the city's powers with respect to the administration, management, or operation of the zone or implementation of the Project Plan. Although according to State statute, the board of directors may not issue bonds, impose taxes or fees, exercise the power of eminent domain, or give final approval to the Project Plan.

It is important to note that the TIRZ board of directors and City Council may also enter into a contract with a local government corporation<sup>10</sup> or a political subdivision of the State to manage the reinvestment zone or implement the Financing Plan and Project Plan for the term of an agreement.<sup>11</sup> An example of a political subdivision can be a Municipal Management District.

A TIRZ expires on the earlier of the termination date designated in the original or amended ordinance creating the zone, or on the date on which all project costs, tax increment bonds, and interest on those bonds have been paid in full.

### **Administrative and Financial Structure Recommendation**

Using a Municipal Management District and Tax Increment Reinvestment Zone for the targeted purpose of implementing the College Station Medical District aims to provide an opportunity to further diversify the economic base and enhance the overall quality of life for all College Station residents. The recommendation is for one or more TIRZ within the MMD which is congruent to the identified Medical District. The MMD would be created via local law to fund primarily soft and administrative costs within the Medical District, while the TIRZ would be created via petition to fund primarily hard costs within the Medical District. By a formal agreement, the MMD could be responsible for also implementing the TIRZ's Financing and Project Plans subject to City Council's final adoption and approval. Once the TIRZ Project Plan is complete, the zone would dissolve leaving the MMD responsible for overall management, and ongoing operation, maintenance, and any future ancillary costs associated with the Medical District. Staff from the City Manager's Office and Planning & Development Services would manage the zone and district, and serve as a resource to the respective boards.

### **Next Steps**

Following City Council's adoption of the College Station Medical District Master Plan and providing direction on the corresponding implementation strategy, staff will begin to engage the appropriate State Representatives for sponsoring the creation of the MMD and continue already ongoing conversations with property owners regarding the petition for the TIRZ. Prefiling for a local bill in the 83<sup>rd</sup> Texas Legislature begins November 12, 2012 with the session convening January 8, 2013. The local bill could become law no later than August 26, 2013. Once City Council receives the petition to initiate a TIRZ, the process will likely take six months to create. Potentially the College Station Medical District could be operational as early as October 1, 2013.

<sup>10</sup> Chapter 431 of the Texas Transportation Code

<sup>11</sup> Chapter 311.010(f) of the Texas Tax Code

## District Coding & Land Development

The creation of new zoning districts will be necessary for three of the land use concepts presented in the Medical District Master Plan: *Village Center*, *Medical Use* and *Urban Residential*. Currently, the only way to achieve the vision of these land use concepts would be to utilize the City's PDD Planned Development District. In lieu of utilizing separate PDD zoning districts, a form-based code is the most logical choice for two of the three land use concepts mentioned above. A form-based code will allow by right development for the specific allowed uses in the district, while prescribing to the specified site layout and basic building forms called for in the district. While a form-based code will allow for an increased level of flexibility in regards to use, it also requires a more defined set of criteria in the design of buildings than what would be found under a typical zoning district. In general, the new zoning districts for the Medical District will share similar components with each other and will be setup similarly to the City's Northgate Districts.

Of the new zoning districts being created, the *Village Center* district will be the most flexible in terms of the uses allowed. However, it will also require the most established standards to accomplish the vision set forth in the Medical District Plan. The *Village Center* land use concept is intended to provide a mixture of retail, residential and supporting office uses in a pedestrian and bicycle-friendly environment. To implement this land use concept a form-based code will be utilized, focusing on the relationship of the buildings to the street and how pedestrians interact with this environment.

For the areas designated as Urban Residential in the Medical District Plan, two zoning districts are proposed to be created. One district, *Urban Residential – Open*, will be focused on allowing a variety of residential types and sizes catering primarily to high-density multi-family type development. The other district, *Urban Residential – Restricted*, will also allow a mixture of residential types, but will focus on medium-density residential uses providing a transition to the proposed lower-density single-family detached development that surrounds a portion of the Urban land use.

The remaining designated land uses in the area (General Commercial, Suburban Commercial, Institutional/Public and Business Park) already have zoning districts in place and as such will not require the creation of entirely new zoning districts. Areas along corridor and entry points to the district will be targeted for aesthetic improvements, including items such as landscaping and signage. However, no additional regulations will be necessary to incorporate these items.

Draft concepts have been created for each of the new zoning districts to provide examples of what the new districts may contain. For the districts that are based off form-based code principles, additional attachments for building types and private frontages have been included that illustrate the form and design, similar to what will be used in the new code.

## Implementation

New zoning districts are currently in the process of being developed for the City in an effort to further implement the Comprehensive Plan. Three of the designated land uses contained within the boundaries of the Medical District will be addressed with these new zoning districts. These districts are, Suburban Commercial, General Suburban and Business Park.

Implementation of the Medical District Master Plan requires the creation of four new zoning districts, a zoning overlay, and amendments to the City's Site Design Standards. The timeline for the development and adoption of these regulations is approximately 7-10 months from adoption of the Medical District Master Plan. This timeline includes the drafting of proposed ordinances, stakeholder meetings, consultation with the Zoning District Subcommittee, and public hearings with the Planning & Zoning Commission and City Council for recommendation and adoption (\*see **Sample Schedule**).

Development regulations will be based on draft concepts provided herein and the guidelines put forth in the Medical District Master Plan. Cities that have established similar Medical Districts will be reviewed for guidance. In addition, stakeholder input will be gathered from land owners within the district as well as developers to ensure that development regulations are capable of being met and not overly complicated.

Standards for items such as street trees, bicycle racks, street furniture, sidewalk pavers, and lighting will be incorporated into the City's Site Design Standards. These standards will likely be similar to those found for the Northgate Districts and involve a similar process for approval and installation.

Not an Ordinance for Discussion Only

# Medical District Master Plan Implementation Report

## Sample Schedule – M.D. Zoning Districts

Status	Date/Time	Task/Meeting	Notes
<b>Schedule</b>			
	November 2012	<b>Language Drafts</b>	Draft ordinance language for staff review.
	December 2012	<b>Language Drafts</b>	Draft ordinance language for staff review.
	January 2013	<b>Begin Staff Review</b>	Distribute ordinance drafts to Staff for review.
	January-February 2013	<b>P&amp;Z Subcommittee Meeting</b>	Discuss proposed ordinance drafts.
	February-March 2013	<b>P&amp;Z Subcommittee Meeting</b>	Discuss proposed ordinance drafts.
	February-March 2013	<b>P&amp;Z Subcommittee Meeting</b>	Discuss proposed ordinance drafts.
	April 2013	<b>P&amp;Z Subcommittee Meeting</b>	Review proposed ordinance draft changes.
	April-May 2013	<b>Public Input</b>	Stakeholder meeting to discuss proposed ordinance language
	May 2013	<b>Public Input</b>	Ordinance language posted online for public review for one month.
	May-June 2013	<b>Public Comments</b>	Review public comments and make changes as necessary.
	June 2013	<b>Final Revisions</b>	Complete draft language for P&Z and City Council.
	June-July 2013	<b>Planning &amp; Zoning</b>	Present proposed zoning districts for recommendation.
	July-August 2013	<b>City Council</b>	Present proposed zoning districts for adoption.

## Village Center (VC)

### Purpose

This mixed-use district is intended to promote a diverse mixture of retail, residential and office uses within a compact and vibrant pedestrian oriented center. Vertical mixed-use buildings will incorporate high-quality urban design into the district that creates a unique and attractive destination for both residents and visitors. This district promotes the health and well-being of residents through interactive community meeting places and increased social interaction, a pedestrian-engaging environment and alternative transportation options. The increased density and intensity of land uses within the district will help support transit usage within the Medical District.

### Allowed Building Types

The purpose of the building type provision is to ensure development that reinforces and compliments the proposed character and architecture of the Medical District. The allowed building types are not intended to limit allowed uses within a specific building type. Each building type establishes a minimum lot size, building size and massing, allowed private frontages, pedestrian access and open space. (\*See **BT - Building Types** for details of each type).

- Commercial Block
- Live/Work

### Permitted Uses

- Retail sales/service
- Restaurants (Drive-thrus are prohibited)
- Night Club, Bar or Tavern (only w/ conditional use permit)
- Office
- Hotels
- Theater
- Health club
- Dry cleaners
- Day care, commercial
- Art studio gallery
- Health care, medical clinics
- Animal care facility, indoor
- Commercial amusements (indoor only-permitted up to 5,000 sf)
- Education Facility, Primary & Secondary
- Government Facilities
- Places of worship
- Multi-family (permitted on ground floor when facing "B" streets – see graphic)
- Parking as a primary use

## Building Placement

The placement of the structure/buildings helps frame the streetscape and establish the pedestrian character in an area. This is accomplished with either a maximum/minimum setback or Build-to Line (Distance from ROW/Property Line).

### Principal Building

- A) Min. Front BTL – 2'
- B) Min. Side street BTL – 2'

### Build-to Line Defined by a Building

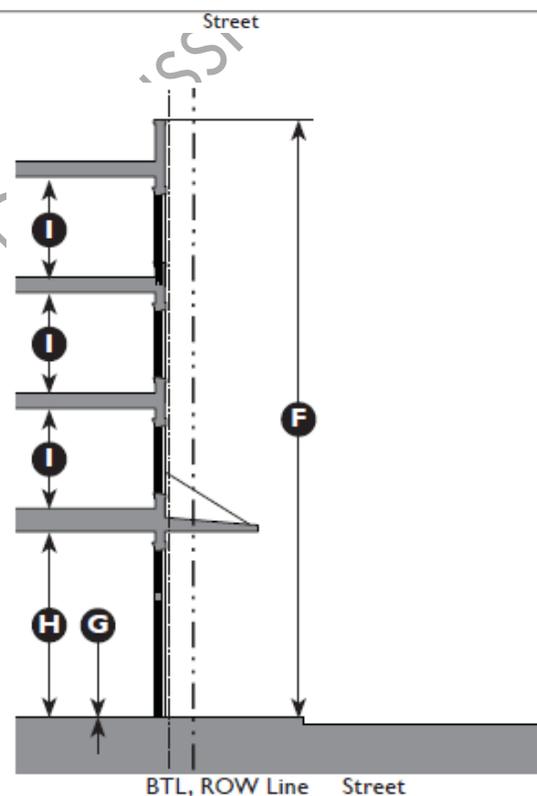
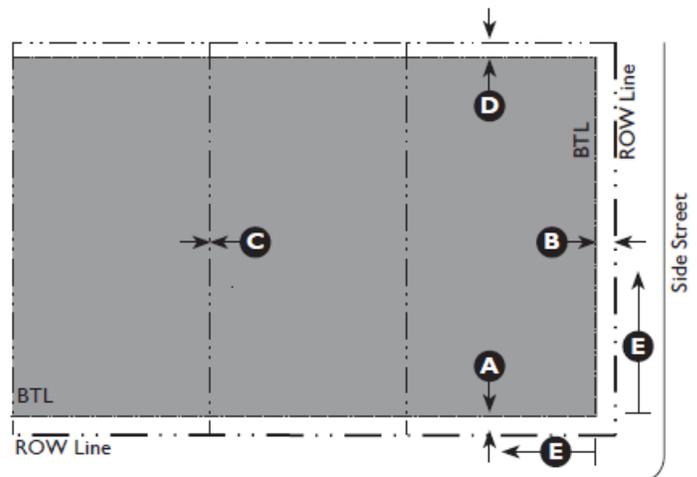
- Front – 80% min.
- Side Street – 60% min.

### Setback (Distance from ROW/Property Line)

- C) Side - 0' min; 20' max
- D) Rear – 5' min

### Miscellaneous

- E) Street facades must be built within 50' of each street corner
- Entire Build to Line must be defined by a building or a 24" to 48" high decorative fence or stucco/masonry wall, except entry ways, driveways and walkways.
- Exceptions to build-to line requirements may be granted for plazas or other similar feature.



## Building Height & Footprint

Establishes the minimum and maximum height for the district. Individual building types may have additional height guidelines. The footprint provides a limit in the amount of lot coverage that takes place.

### Height

- F) Overall height
  - 2-story min.; 5-story max. (max. 3-story when fronting Rock Prairie Rd).
- G) Minimum Floor Finish Level
  - 6" max. above sidewalk
- H) Minimum Ground floor ceiling

Graphics Source: City of Flagstaff, AZ

- 14' min. clear
- l) Minimum Upper floor ceiling
  - 8' min. clear

## Footprint

- Max Floor Area Ratio of 2:1.
- Ground floor commercial/office space along a primary street frontage shall have a minimum depth of 30'.

## Miscellaneous

- Shed, mansard and gambrel roofs are prohibited
- 50' maximum distance between ground floor entries
- All upper floors must have a primary entrance along a street or courtyard
- Buildings must be designed to show as series of buildings (buildings over 100' must look as though the building is no wider than 75' each)
- Loading docks, overhead doors, service entries shall not be located on front or street-facing facades

## Architectural Standards

### Building Materials

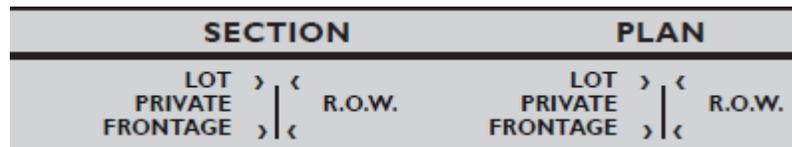
The following applies to all structures, including parking garages:

- All façades, except those within fifteen (15) feet of another building that screens the façade, shall consist of a minimum of twenty-five (25) percent of one (1) or more of the following building materials. Parking garages are excluded from this requirement. All other materials except as authorized herein or by the Design Review Board, are prohibited.
  - Fired brick;
  - Natural stone;
  - Marble;
  - Granite
  - Tile; and/or
  - Any concrete product so long as it has an integrated color and is textured or patterned (not aggregate material or split-face CMU) to look like brick, stone, marble, granite or tile; or is covered with brick, stone, marble, granite, or tile or a material fabricated to simulate brick, stone, marble, granite, or tile.
- Vinyl and steel panel siding is prohibited on all facades.
- Mirrored or reflective glass is prohibited. Glass shall be clear or tinted.
- Continuous ribbon window systems and glazed curtain walls are prohibited.

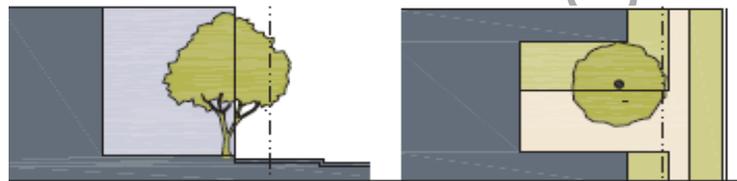
- Stainless steel, chrome, standing seam metal, premium grade architectural metal, wood or cedar siding may be used as an architectural accent and shall not cover greater than 20% of any façade.

## Private Frontage Types

The private frontage is the area between the building façade and the property line.



- Forecourt** – This frontage has a portion of the façade close to the frontage line and the central portion is set back.



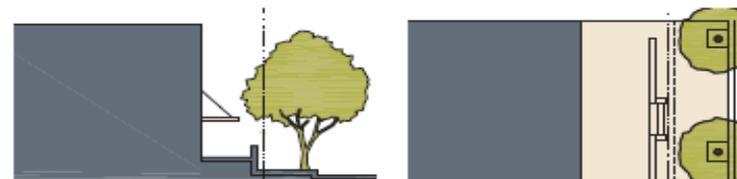
- Stoop** – This frontage has a façade aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows.



- Shopfront** – This frontage has a façade that is aligned close to the build-to-line with the building entrance at sidewalk grade.



- Terrace Shopfront** – This frontage has an existing cross slope that makes access difficult. It allows at-grade access to all shopfronts.



- Gallery** – This frontage has a façade aligned close to the frontage line with an attached cantilevered colonnade overlapping the sidewalk.



(\* See **PF – Private Frontages** for details of each type)

Graphics Source: City of Flagstaff, AZ

## Encroachments

- Gallery are permitted to encroach into the right-of-way.
  - Street trees not required/allowed for gallery frontages
- All other building encroachments are prohibited within the street right-of-way.
- Street furnishings, bike racks etc. may be permitted with a PIP permit.

## Parking

The location, setback and amount of parking required.

### Live/Work Use

- Minimum 2 spaces per unit.

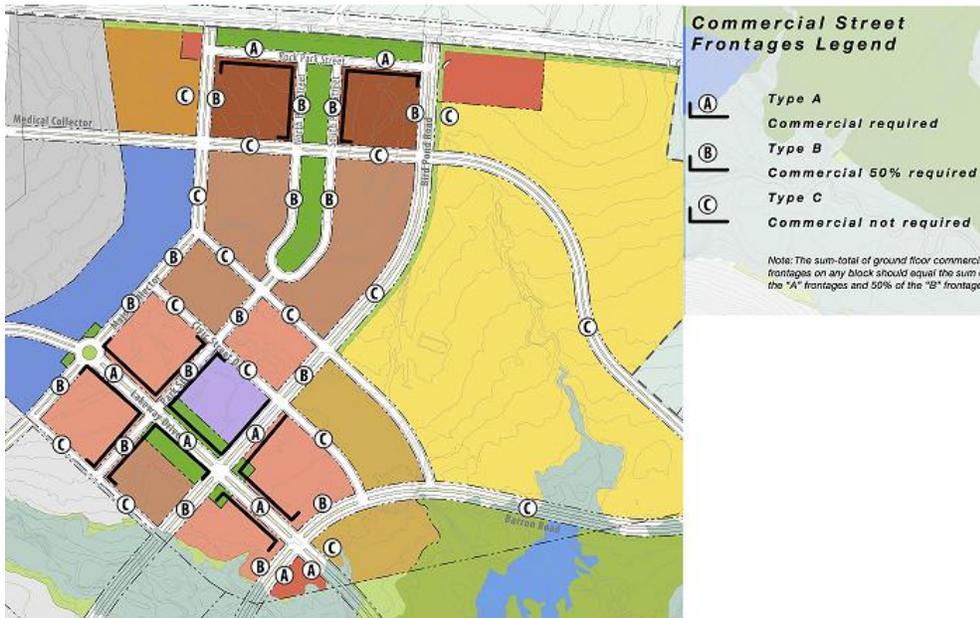
### Non-Residential

- The number of off-street spaces shall not exceed 100% of the total prescribed by UDO Section 7.2 Off-Street Parking Standards.
- Surface parking lots shall be located behind buildings. Surface parking may be located along no more than 50% of the frontage on “B” streets.
- Surface parking lots that have frontage on a “B” street shall be separated from the sidewalk by a decorative and durable screen at least 4’ in height.

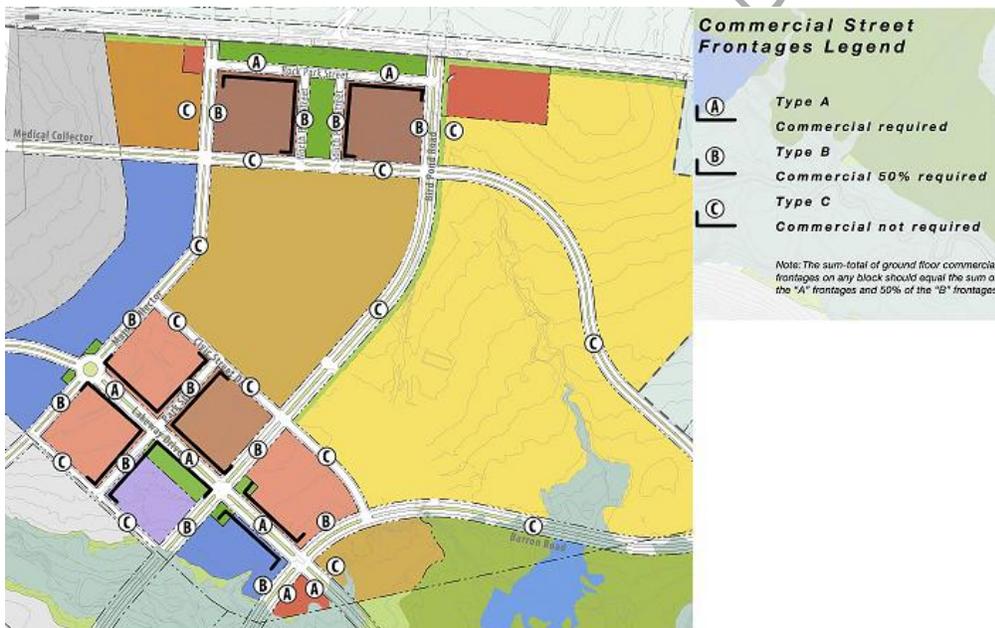
### All other permitted uses

- Parking as a primary use shall only be permitted behind a building or within structured parking.
- No minimum number of parking spaces for all ground floor uses less than 2,000 sf
- All ground floor uses greater than 2,000 sf shall be required a minimum of 3 spaces per 1,000 sf above first 2,000 sf.
- Upper floors require a minimum of 3 spaces per 1,000 sf.
- The following uses shall meet the minimum parking standards required in UDO Section 7.2:
  - Restaurant
  - Church
  - Commercial Amusement
  - Theater

## Ex. 1 - Street Frontage Classification



## Ex. 2 – Street Frontage Classification



### Signage:

The following types of signage are permitted. All others are prohibited.

- Attached signs (refer to Section 7.4 Signs).
- Window signs
  - Shall allow for majority of display area to be open for pedestrian window shopping and shall not cover more than 33% of window area.
- Hanging signs

- Maximum of one sign per building entrance is allowed
- Shall be suspended from canopies/awnings and located in front of building entrances, perpendicular to the façade.
- Minimum clearance of 8' from walkway/sidewalk grade
- Projection signs
  - Maximum of one sign per building
  - Mounted perpendicular to the building with a minimum clearance of 8' from walkway/sidewalk grade.
  - Shall not extend greater than 3' from building face, inclusive of all supports, frames, and the like.

## **Dumpster and Mechanical Equipment Standards**

- All dumpsters or other waste storage areas or containers other than streetscape trash receptacles shall be located at the rear of the building served.
- Consolidation of dumpsters is encouraged and may be required by the City.
- All solid waste storage areas, mechanical equipment, utility meters and other similar utility devices shall be screened from view from rights-of-way. Such screening shall be coordinated with the building architecture, colors, and scale to maintain a unified appearance. Acceptable methods of screening include encasement, parapet walls, partition screens, or brick walls.

## **Landscaping/Streetscaping Standards**

### Street Trees

- Along all street frontages, a minimum four-inch (4") caliper street tree shall be located in at-grade tree wells with tree grates (or in raised tree wells or planters when 8' of clear space can be maintained on sidewalk).

Street trees shall be spaced at a maximum of 25' on center and located adjacent to the back of curb. Spacing may be varied upon approval by the Administrator in order to minimize conflicts with other streetscape elements, utilities, or building frontages (gallery).

## Urban Residential – Open (UR-O)

### Purpose

This district is intended for areas of high density residential uses adjacent to medical-related facilities and village centers. This area is intended to provide a variety of residential types and sizes, while being pedestrian and bicycle friendly. Building types and frontages for this district will promote high density residential uses. Buildings will have a minimum and maximum height in order to frame the streetscape, make efficient use of the land, and to encourage pedestrian movement through the district. Opportunities for live-work and assisted living would be permitted within the district.

### Allowed Building Types

The purpose of the building type provision is to ensure development that reinforces and compliments the proposed character and architecture of the Medical District. The allowed building types are not intended to limit allowed uses within a specific building type. Each building type establishes a minimum lot size, building size and massing, allowed private frontages, pedestrian access and open space. (\*See **BT - Building Types** for details of each type).

- Townhouse (\*or similar building type, i.e. Row House)
- Charleston House / Detached Row House (\*or similar building type)
- Courtyard Apartment
- Apartment House
- Live/Work
- Bungalow Court
- Stacked Duplex

Note: A minimum of 2 building types per block must be used

### Permitted Uses

- Urban Single-family (within specified building types only)
- Multi-family
- Townhouse
- Live/Work – only permitted on fringes
- Education Facility, Primary & Secondary
- Government Facilities
- Places of Worship
- Extended Care
- Facility/Convalescent/Nursing Home
- Day Care, Commercial
- Parks
- Village Center (\*development in accordance with VC provisions also permitted on a block by block development pattern)

## Building Placement

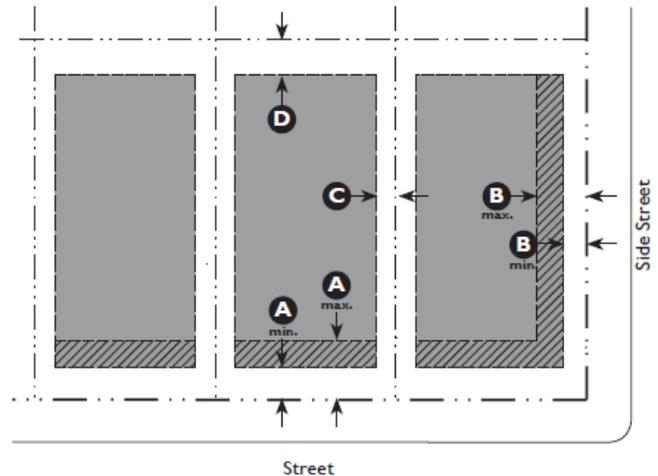
The placement of the structure/buildings helps frame the streetscape and establish the pedestrian character in an area. This is accomplished with either a maximum or minimum setback (distance from right-of-way/property line).

- A) Front <sup>1,2</sup> – Match adjacent property; 25' Max  
Minimum front façade in façade zone – 50%
- B) Side Street - 10' min.; 15' max
- C) Side <sup>3</sup> - 7.5' min/max
- D) Rear - 5' min.

<sup>1</sup> In developments on lots over 20,000sf, the first building defines setback for the block.

<sup>2</sup> 5' min.

<sup>3</sup> No side setback required between Townhouse and/or Live/Work building types.



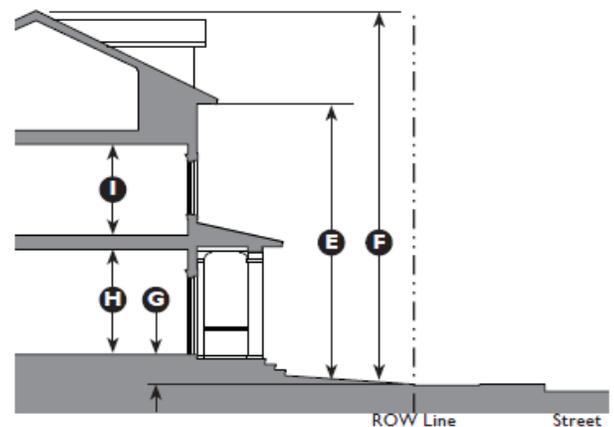
### Key

- ROW/Property Line
- Building Setback Line
- Building Area
- ▨ Façade Zone

## Building Height

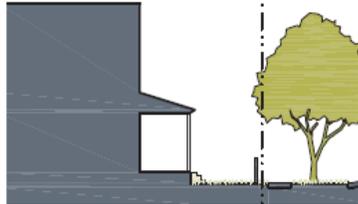
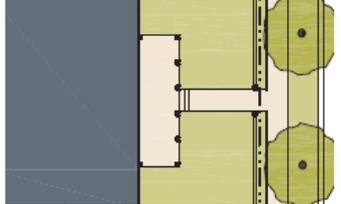
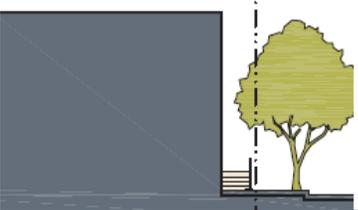
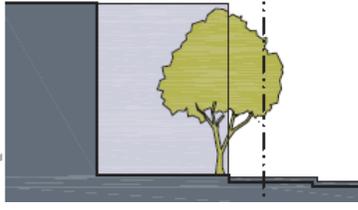
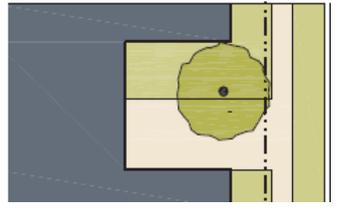
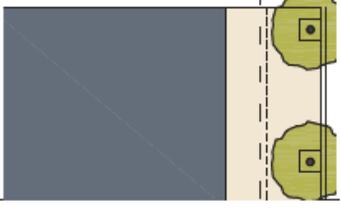
Establishes the maximum height for the district. Individual building types may have additional height regulations.

- E) To eave/parapet – 16' Min.
- F) Overall height
  - 2-story Min. 5-story Max.
  - Max. 1.5 story for Bungalow Court
- G) Ground floor finish level – 18" min. above sidewalk
- H) Ground floor Ceiling – 9' min clear
- I) Upper floor Ceiling - 8' min clear



## Private Frontage Types

The private frontage is the area between the building façade and the property line.

	SECTION	PLAN
	LOT PRIVATE FRONTAGE > < R.O.W.	LOT PRIVATE FRONTAGE > < R.O.W.
<ul style="list-style-type: none"> <li>Porch – façade is setback from the frontage line with an attached porch permitted to encroach.</li> </ul>		
<ul style="list-style-type: none"> <li>Stoop – façade is aligned close to the frontage line with the first story elevated from the sidewalk to provide privacy for windows. Entrance is usually an exterior stair and landing.</li> </ul>		
<ul style="list-style-type: none"> <li>Forecourt – has a portion of the façade close to the frontage line and the central portion is set back (limited to 1 per block).</li> </ul>		
<ul style="list-style-type: none"> <li>Shopfront – has a façade close to the build-to-line with the building entrance at sidewalk grade (limited to live/work uses only).</li> </ul>		

(\* See **PF – Private Frontages** for details of each type)

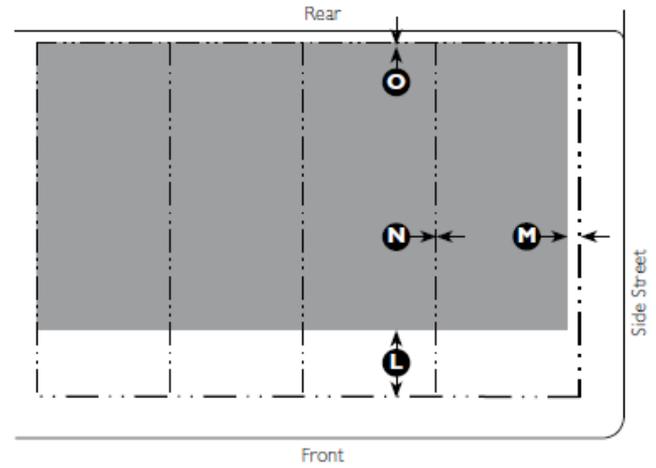
Graphics Source: City of Flagstaff, AZ

## Parking

The location, setback and amount of parking required.

- L) Front – 20' min.
- M) Side Street from property line – 5' min.
- N) Side from property line – 0' min.
- O) Rear property line/rear alley – 0' min. /5' min.

- Courtyard Apartment and Apartment House shall provide shall provide 80% of the parking requirement in UDO Section 7.2
- Stacked Duplex and Bungalow Court shall provide 1 parking space per bedroom.
- Townhouse and Live/Work Building types shall provide a minimum of 2 parking spaces per dwelling unit.
- The first 2-stories of structured parking along a public street shall have a liner frontage that mirrors the look of the residential structure.
- Surface parking shall be screened by a 3-foot tall hedge, wall or combination thereof.
- For corner lots, all driveways shall be located off the alley.



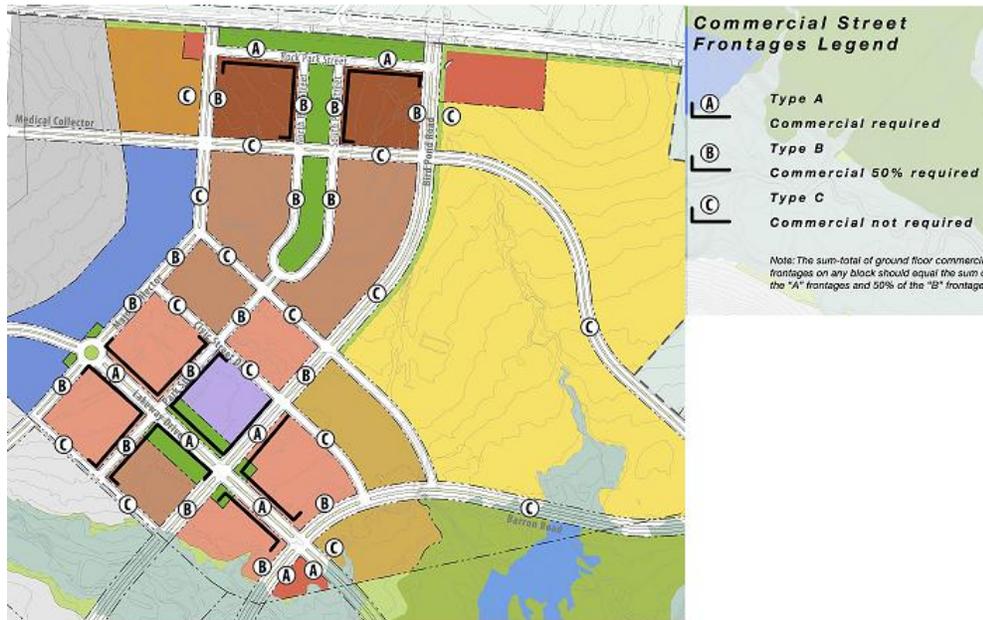
## Landscaping

- UDO Minimum Landscaping requirements shall be met.

## Miscellaneous

- Ground floor residential units facing a street shall have individual entries.
- If adjacent to greenways, trails etc.; paved access ways shall be provided to these features.
- Shed, mansard and gambrel roofs are prohibited.
- Loading docks, overhead doors and service entries shall not be located on front or street-facing facades.
- Decorative/open style fencing shall be the only type of fencing permitted along greenways, trails, park areas (i.e. wrought iron fence, ranch style fences).

**Ex. 1 - Street Frontage Classification**



**Ex. 2 - Street Frontage Classification**



**New Definition:**

Urban Single-family – A residential unit consisting of a Townhouse, Row house or Charleston House / Detached Row House providing complete, independent living facilities for one (1) family including permanent provisions for living, sleeping, cooking, eating and sanitation.

## Urban Residential – Restricted (UR-R)

### Purpose

This district is intended for areas medium to high density residential uses adjacent to medical-related facilities and village centers. This area is intended to provide a variety of residential types and sizes, while being pedestrian and bicycle friendly. Building types and frontages for this district will provide a transition to the lower density single-family detached development that is called for in the general suburban areas. Buildings will have a minimum and maximum height in order to frame the streetscape, make efficient use of the land, and to encourage pedestrian movement through the district. Opportunities for live-work and assisted living would be permitted within the district.

### Allowed Building Types

The purpose of the building type provision is to ensure development that reinforces and compliments the proposed character and architecture of the Medical District. The allowed building types are not intended to limit allowed uses within a specific building type. Each building type establishes a minimum lot size, building size and massing, allowed private frontages, pedestrian access and open space. (\*See **BT - Building Types** for details of each type).

- Townhouse (\*or similar building type, i.e. Row House)
- Charleston House / Detached Row House (\*or similar building type)
- Stacked Duplex
- Side-by-Side Duplex
- Four-plex and Six-plex
- Live/Work

### Permitted Uses

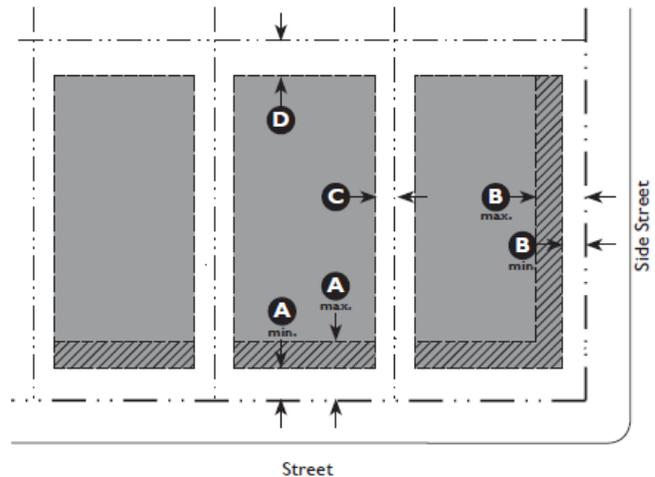
- Urban Single-family
- Multi-family
- Townhouse
- Live/Work (\*create new category) – only permitted on fringes
- Education Facility, Primary & Secondary
- Government Facilities
- Places of Worship
- Extended Care Facility/Convalescent/Nursing Home
- Day Care, Commercial
- Parks

### Building Placement

The placement of the structure/buildings helps frame the streetscape and establish the pedestrian character in an area. This is accomplished with either a maximum or minimum setback (distance from right-of-way/property line).

- A) Front <sup>1,2</sup> – Match adjacent property; 25' Max  
Minimum front façade in façade zone – 50%
- B) Side Street - 10' min.; 15' max
- C) Side <sup>3</sup> - 7.5' min/max
- D) Rear - 5' min.

- <sup>1</sup> In developments on lots over 20,000sf, the first building defines setback for the block.
- <sup>2</sup> 5' min.
- <sup>3</sup> No side setback required between Townhouse and/or Live/Work building types.



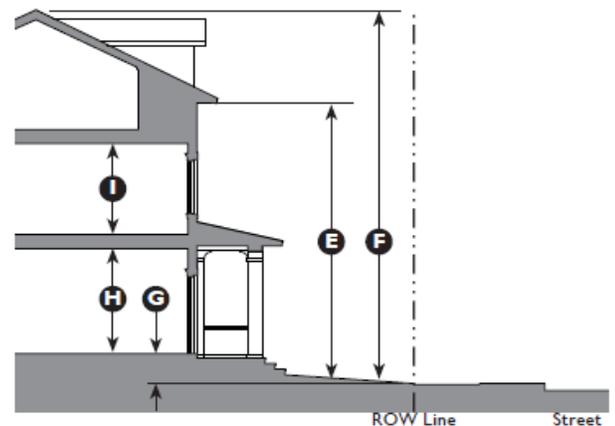
### Key

- ROW/Property Line
- Building Setback Line
- Building Area
- ▨ Façade Zone

### Building Height

Establishes the maximum height for the district. Individual building types may have additional height regulations.

- E) To eave/parapet – 18.5' Min.
- F) Overall height
  - 2-story Min. 3-story Max.
  - 1.5-story Min for Side-by-Side Duplex
- G) Ground floor finish level – 18" Min. above sidewalk
- H) Ground floor Ceiling – 9' Min clear
- I) Upper floor Ceiling - 8' Min clear

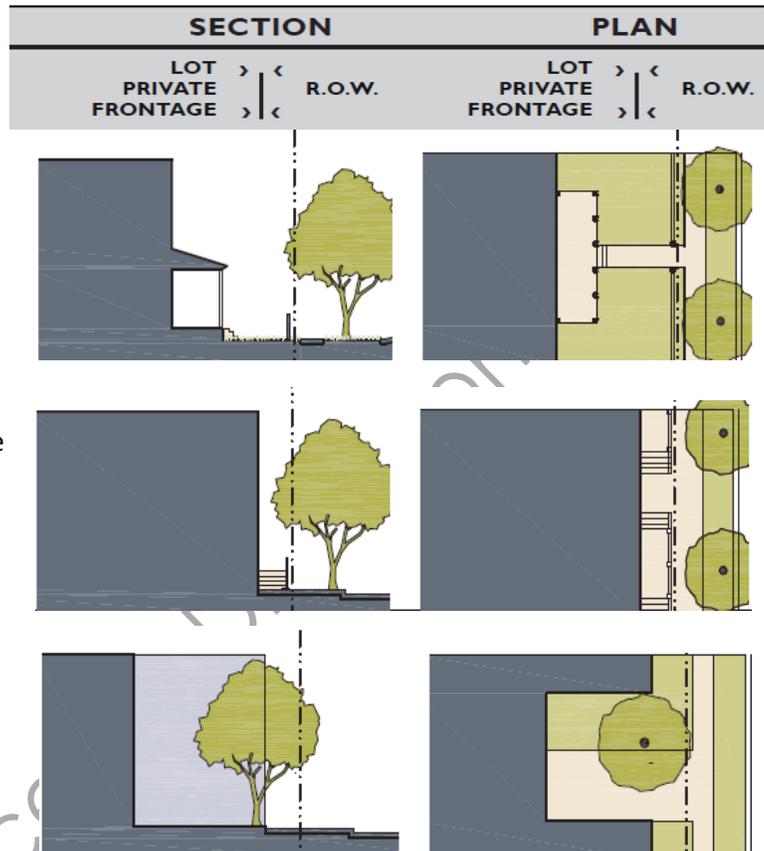


Graphics Source: City of Flagstaff, AZ

## Private Frontage Types

The private frontage is the area between the building façade and the property line.

- Porch – façade is setback from the frontage line with an attached porch permitted to encroach.
- Stoop – façade is aligned close to the frontage line with the first story elevated from the sidewalk to provide privacy for windows. Entrance is usually an exterior stair and landing.
- Forecourt – has a portion of the façade close to the frontage line and the central portion is set back. (limited to 1 per block)

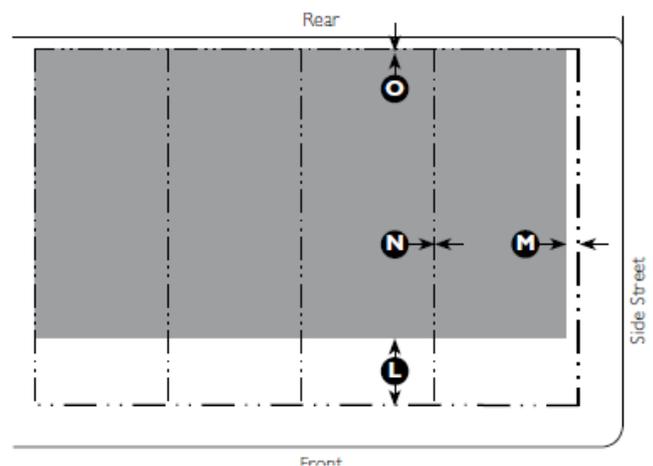


(\* See **PF – Private Frontages** for details of each type)

## Parking

The location, setback and amount of parking required.

- L) Front – 20' min.
  - M) Side Street from property line – 5' min.
  - N) Side from property line – 0' min.
  - O) Rear property line/rear alley – 0' min. /5' min.
- Side-by-side Duplex, Stacked Duplex, Four-plex and Six-plex shall provide 1 parking space per bedroom.
  - Townhouse and Live/Work Building types shall provide a minimum of 2 parking spaces per dwelling unit.



Graphics Source: City of Flagstaff, AZ

- Surface parking shall be screened by a 3-foot tall hedge, wall or combination thereof.
- For corner lots, all driveways shall be located off the alley or side street.

#### **Landscaping**

- UDO Minimum Landscaping requirements shall be met.

#### **Miscellaneous**

- Ground floor residential units facing a street shall have individual entries.
- If adjacent to greenways, trails etc.; paved access ways shall be provided to these features.
- Shed, mansard and gambrel roofs are prohibited.
- Loading docks, overhead doors and service entries shall not be located on front or street-facing facades.
- Decorative/open style fencing shall be the only type of fencing permitted along greenways, trails, park areas (i.e. wrought iron fence, ranch style fences).

Not an Ordinance-For Discussion Only

## Medical Use (MU)

### Purpose

This district is intended to provide a concentration of medically-related uses within a pedestrian-friendly area. Uses will include labs, professional offices, pharmacies and other support uses for medical activities. Buildings will have more flexibility in terms of height and architecture in order to accommodate the various uses.

### Permitted Uses

- Office
- Health Care, Hospitals
- Health Care, Medical Clinics
- Extended care facility / convalescent / nursing home
- Senior Housing
- Active-Adult Housing
- Education facility, vocational/trade
- Education facility, indoor instruction
- Pharmacy
- Hotels
- Scientific testing / research laboratory (w/ specific use standards/limitations)
- Place of worship
- Governmental facilities

### Building Placement

	Medical Use
	MU
Min. Lot Area	None
Min. Lot Width	24'
Min. Lot Depth	100'
Min. Front Setback	25'
Min. Side Setback	(A)(B)
Min. St. Side Setback	15'
Min. Rear Setback	15'
Max. Height	5-stories (C) (D)

#### Notes:

- (A) A minimum side setback of 7.5 feet shall be required for each building or group of contiguous buildings.
- (B) Lot line construction on interior lots with no side yard or setback is allowed only where the building is covered by fire protection on the site or separated by a dedicated public right-of-way or easement of at least 15 feet in width.
- (C) May exceed 5-stories with approval from City Council.
- (D) Buildings located within 400' of single-family uses shall be limited to no more than 2-stories and incorporate a gable or hip roof with a minimum roof pitch of 4:12. Beyond the 400', heights may rise to a maximum of 5-stories.

## Orientation

- 1) Buildings adjacent to existing or planned trails, open spaces, or parks shall provide public entries along the façade fronting these amenities.

## Parking

Per UDO requirements with the following addition:

- 1) Parking shall be located primarily interior to the block/lot and is not permitted along pedestrian trails, parks or greenways.

## Non-Residential Architectural Standards

Per UDO requirements with the following additions:

- a) Minimum 25% brick, stone, marble, granite, tile or specified concrete product on each façade facing a greenway, trails or parks.
- b) Shed, gambrel and mansard roofs are prohibited.

## Signage

Per UDO Section 7.4 with the types of signage limited to the following:

- a) Attached signage
- b) Directional Traffic Control Signs
- c) Low Profile Signs
- d) Real Estate, Finance and Construction Signs
- e) Campus Wayfinding Signs
- f) Freestanding signs

## Solid Waste Standards

Per UDO 7.7 Solid Waste

## Required Screening

Per UDO 7.9.B.1 (Required Screening)

- All mechanical equipment shall be screened from view/isolated per UDO 3.5.E (Site Plan review criteria)

## New Definitions

Pharmacy -

Shall mean a retail store engaged in the sale of prescription drugs, patent medicines and surgical supplies. The sale of magazines, newspapers, books and tobacco products, household appliances, hardware, other sundry goods and general merchandise, food or drinks is also permitted in conjunction with the pharmaceutical sales.

Senior Housing -

Shall mean a community of housing that provides features, amenities, operational standards, services and use restrictions that adults 55 years of age or older find desirable. These communities are often age-restricted to reinforce and bolster the sense of safety and community desired by senior residents.

Senior-targeted communities feature amenities consciously planned into the development; among these particular amenities, open space within half a block and recreational facilities are the most common. These recreational facilities include walking trails and park spaces, along with a lifestyle center/ clubhouse that emphasize clubs and activities and feature resort-style amenities. Amenities often include an indoor and/or outdoor heated swimming pool, whirlpool tub, steam and/or sauna rooms, separate facilities for aerobics and weight training, rooms for cards, games and billiards, and often feature a great room with a commercial kitchen as well as facilities for tennis, golf, shuffleboard, bocce, and more. Clubs and activities focus on scrapbooking and other crafts.

Active Adult Housing -

Shall mean housing that is age targeted or age restricted to people aged 55 years or older. This type of housing is often designed for complete single-floor living, with features like laundry facilities and the master bedroom and bathroom on the first floor. The properties have few, if any, steps to get into the home, and often boast details like toggle/rocker light switches, lever handles, shower stalls with seats, wide doorways, and other features that make life easier for people who are experiencing the pains associated with aging.

Active adult housing feature amenities consciously planned into the development; among these particular amenities, open space within half a block and recreational facilities are the most common. These recreational facilities include walking trails and park spaces, along with a lifestyle center/ clubhouse that emphasize clubs and activities and feature resort-style amenities. Amenities often include an indoor and/or outdoor heated swimming pool, whirlpool tub, steam and/or sauna rooms, separate facilities for aerobics and weight training, rooms for cards, games and billiards, and often feature a great room with a commercial kitchen as well as facilities for tennis, golf, shuffleboard, bocce, and more. Clubs and activities focus on scrapbooking and other crafts.

## Building Types

### Charleston House / Detached Row House

Description – The Charleston House / Detached Row House building type consists of a medium sized detached single-family structure that is located on a separate lot and occupying most of the lot. These buildings are generally located on narrow lots and are characterized by having 2-3 stories, and are a very dense.



Source: [www.charlestontrident.com](http://www.charlestontrident.com)

Source: [www.seechicagorealestate.com](http://www.seechicagorealestate.com)

**Townhouse**

Description – The townhouse building type consists of 1 of a group of structures that consist of no less than three, no more than twelve dwelling units placed side by side. Each dwelling unit is located on a separate lot, with a small side or rear yard provided for each unit as private open space.



Source: City of Flagstaff, AZ

### **Courtyard Apartment**

Description – The Courtyard Apartment Building type is a medium-to-large sized structure that consists of multiple side-by-side and/or stacked dwelling units accessed from a courtyard or series of courtyards. Each unit may have its own individual entry, or up to three units may share a common entry. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.



Source: City of Flagstaff, AZ

## Apartment House

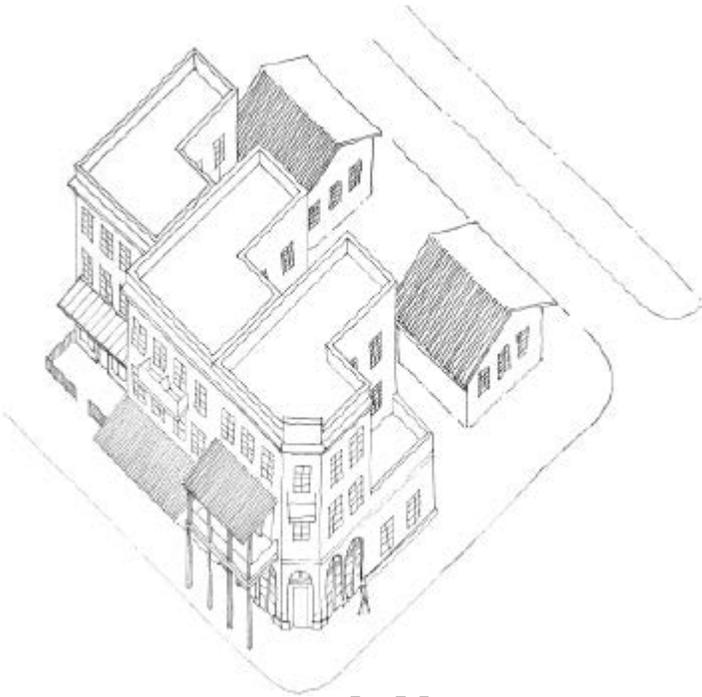
Description – The Apartment House Building type is a medium-to-large sized structure that consists of four to twelve side-by-side and/or stacked dwelling units typically with one shared entry. This type enables appropriately-scaled, well-designed higher densities and is important for providing a broad choice of housing types and promoting walkability.



Source: City of Flagstaff, AZ

## Live / Work

Description – The Live/Work Building type is a small to medium-sized attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for residential, service, or commercial uses. Both the ground-floor flex space and the unit above are owned by one entity. This type is typically located within medium-density neighborhoods or in a location that transitions from a neighborhood into a neighborhood main street. It is especially appropriate for incubating neighborhood serving commercial uses and allowing neighborhood main streets to expand as the market demands.



Source: City of Flagstaff, AZ

### **Bungalow Court**

Description – The Bungalow Court Building type consists of a series of small, detached structures on a single lot, providing multiple units arranged to define a shared court that is perpendicular to the street. The shared court takes the place of a private open space and becomes an important community-enhancing element of this type.



Source: City of Flagstaff, AZ

### Stacked Duplex

Description – The Duplex Building Type is a small to medium-sized structure that consists of two dwelling units, one on top of the other. This type can be integrated with other medium density types such as courtyard apartments, four-plexes and six-plexes.



Source: City of Flagstaff, AZ

### Side-by-Side Duplex

Description – The Side-by-Side Duplex Building Type consists of structures that contain two side-by-side dwelling units, both facing the street and sharing one common party wall. This type can be integrated with other medium density types such as courtyard apartments, fourplexes and sixplexes.



Source: City of Flagstaff, AZ

### **Four-plex and Six-plex**

Description – The Four-plex and Six-plex building type consists of structures that contain four to six side-by-side and/or stacked dwelling units with one shared entry. This building type has the appearance of a medium to large single-family home, and can be integrated with other medium-density types such as duplexes or courtyard apartments.

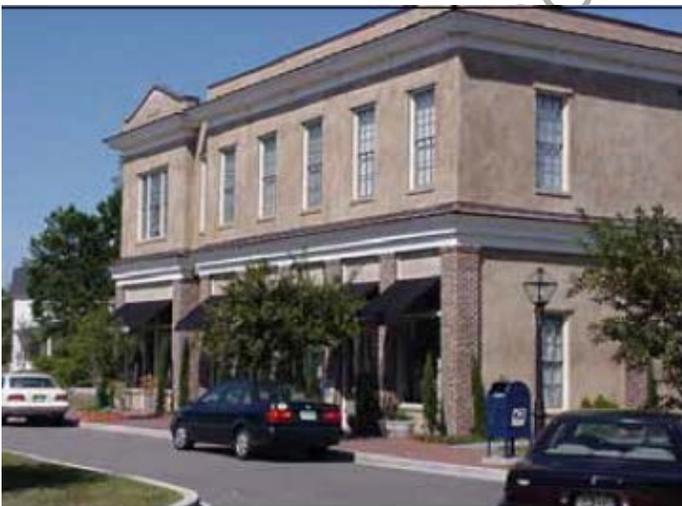
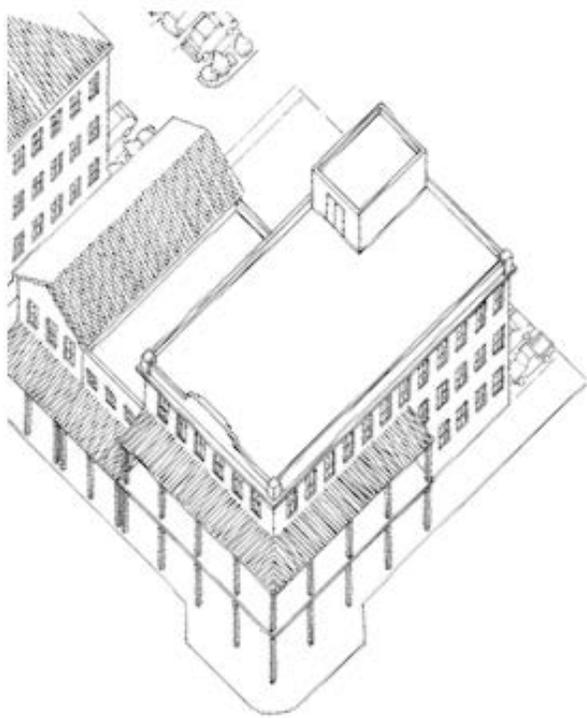


Source: City of Flagstaff, AZ

# Medical District Master Plan Implementation Report

## Commercial

Description – The Commercial building type is a vertical mixed-use building with ground floor commercial, office or retail uses and upper floor commercial or residential uses.

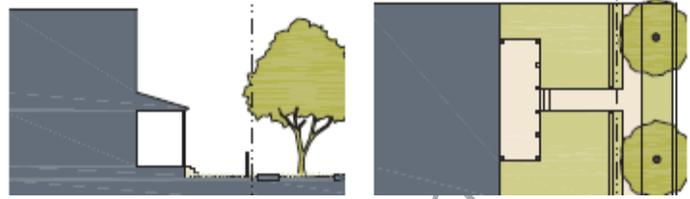


Source: City of Flagstaff, AZ

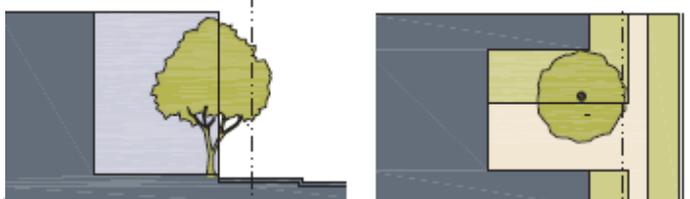
PF – Private Frontages

SECTION		PLAN	
LOT	> <	LOT	> <
PRIVATE FRONTAGE	<	PRIVATE FRONTAGE	<
	R.O.W.		R.O.W.

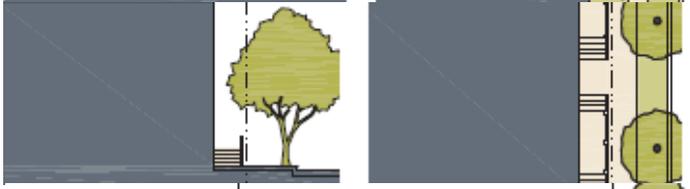
**Porch** – This frontage has a planted frontage wherein the façade is setback from the frontage line with an attached porch permitted to encroach.



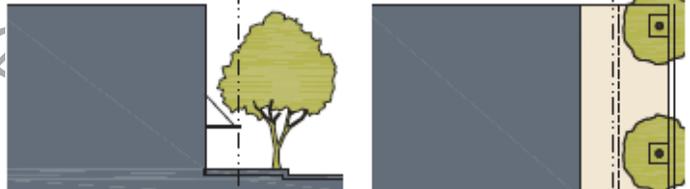
**Forecourt** – This frontage has a portion of the façade close to the frontage line and the central portion is set back creating a small courtyard space.



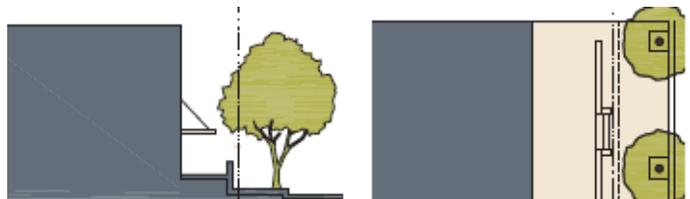
**Stoop** – This frontage has a façade aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows.



**Shopfront** – This frontage has a façade that is aligned close to the build-to-line with the building entrance at sidewalk grade. This frontage is conventional for retail use and will generally have significant glazing/window treatment at sidewalk level.



**Terrace Shopfront** – This frontage has an existing cross slope that makes access difficult. It allows at-grade access to all shopfronts with a sidewalk that follows the slope and has frequent steps from the sidewalk to the terrace.

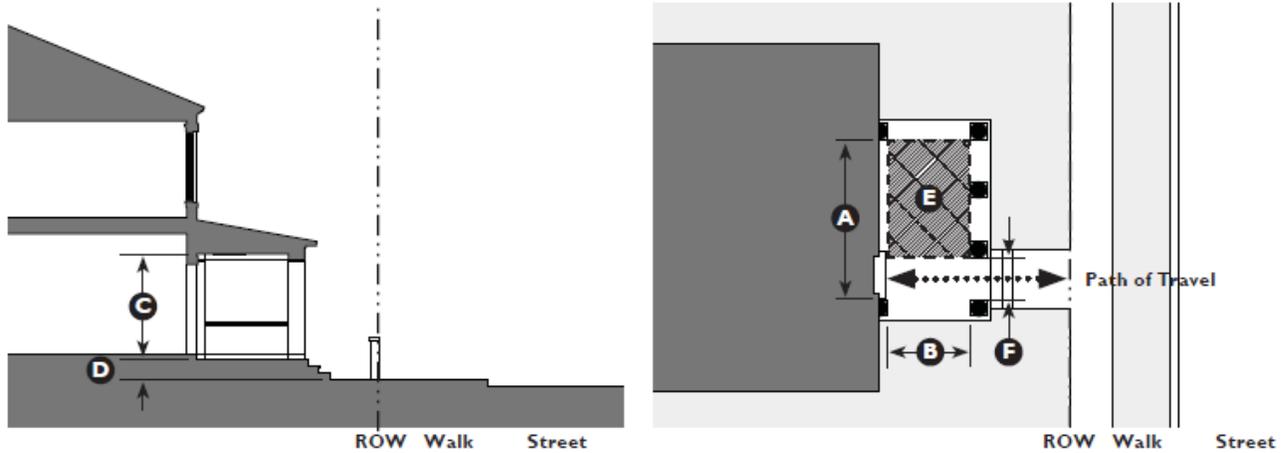


**Gallery** – This frontage has a façade aligned close to the frontage line with an attached cantilevered colonnade overlapping the sidewalk. This frontage is conventional for retail use and will generally have significant glazing/window treatment at sidewalk level.



Source: City of Flagstaff, AZ

**Porch**



**Key**

---- ROW/Property Line

**Description:**

Main façade of the building has a small to medium setback from the property line. The porch is open on three sides and has a roof form that is separate from the main structure.

**Size:**

- A) Width, Clear
- B) Depth, Clear
- C) Height, Clear
- D) Finish level above sidewalk
- E) Clear area
- F) Path of Travel

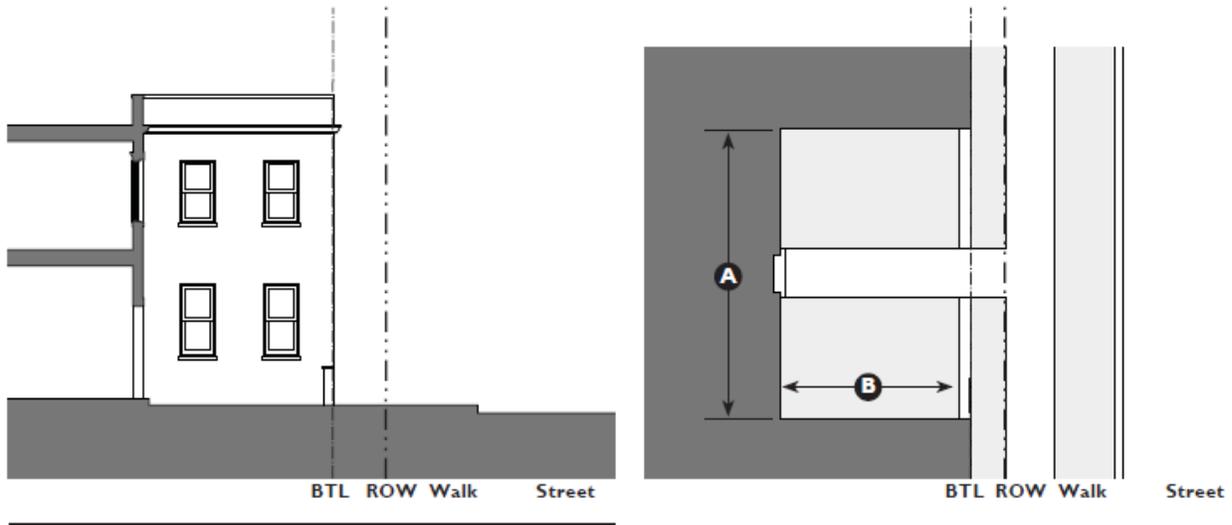
**Misc**

- Porches are open on three sides and must have a roof.



Source: City of Flagstaff, AZ

**Forecourt**



**Key**

- ROW/Property Line
- Setback Line

**Description:**

A portion of the main façade is at or near the frontage line and a small percentage is set back, creating a small court space. The space can be used as an entry court, garden space, or additional shopping or restaurant seating.

**Size:**

- A) Width, Clear
- B) Depth, Clear

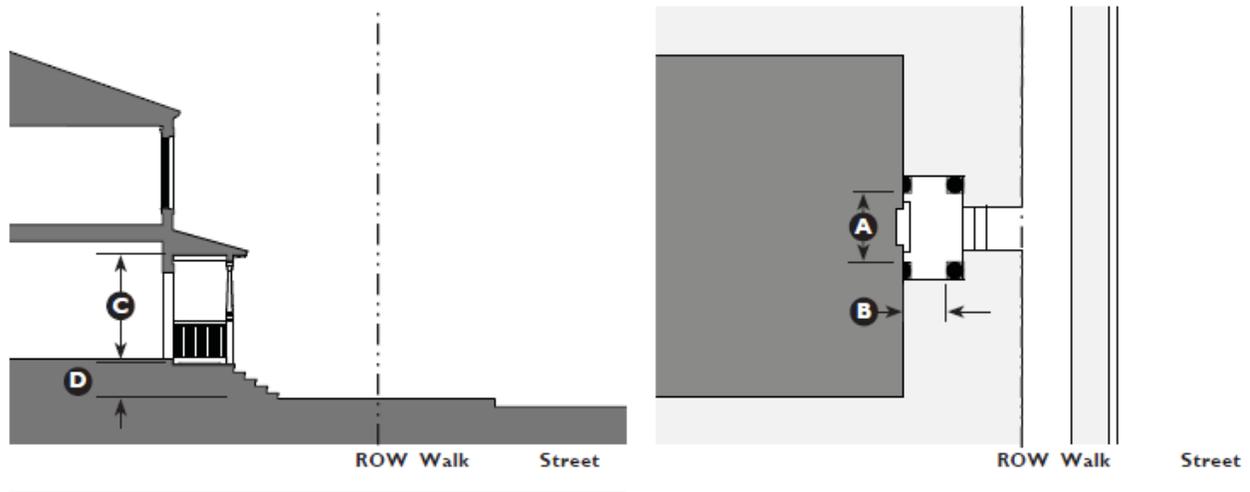
**Misc.**

- A short wall, hedge or fence shall be placed along the BTL where it is not defined by a building.



Source: City of Flagstaff, AZ

## Stoop



### Key

---- ROW/Property Line

### Description:

The main façade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop should be elevated above the sidewalk to ensure privacy within the building.

### Size:

- A) Width, Clear
- B) Depth, Clear
- C) Height, Clear
- D) Finish level above sidewalk

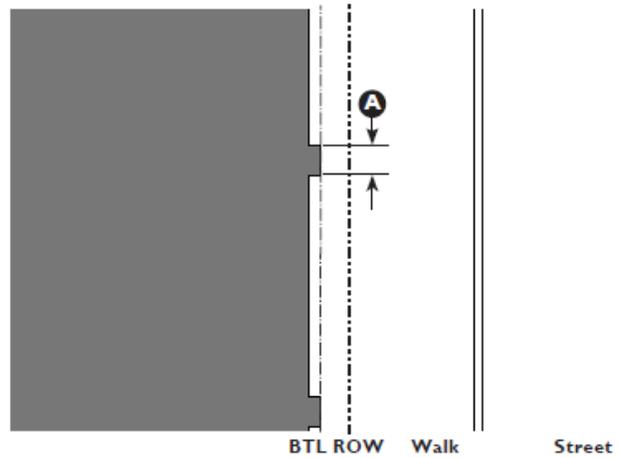
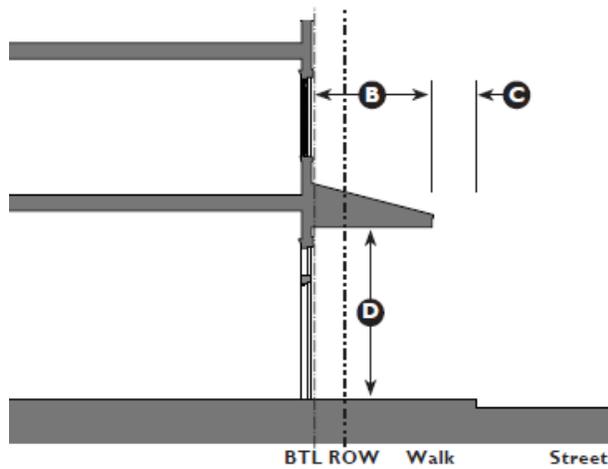
### Misc.

- Ramps shall be parallel to the façade.
- Stairs may be perpendicular or parallel to the building.
- Gates are not permitted.



Source: City of Flagstaff, AZ

## Shopfront



### Key

- ROW/Property Line
- Setback Line

### Description:

The main façade of the building is at or near the frontage line and may include a canopy or awning element that overlaps the sidewalk along the majority of the frontage.

### Size:

- A) Distance between glazing
- B) Awning depth
- C) Awning setback from curb
- D) Awning height

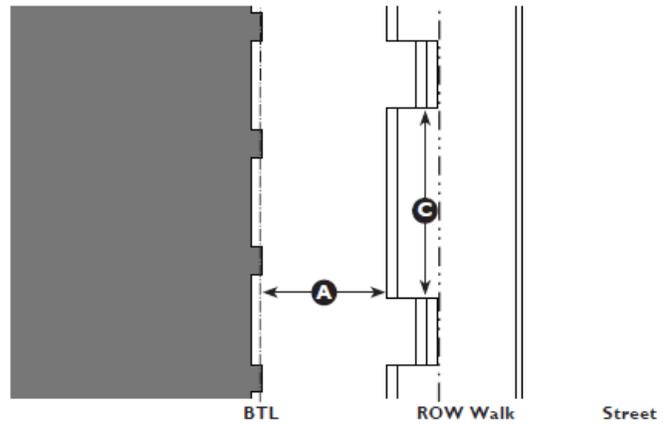
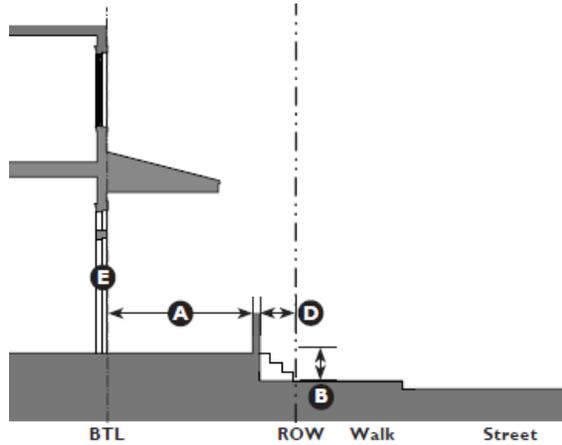
### Misc.

- 75% Min. ground floor Transparency.
- Residential windows shall not be used.
- Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged.
- Doors may be recessed provided main facade is at BTL.



Source: City of Flagstaff, AZ

### Terrace Shopfront



**Key**

- ROW/Property Line
- Setback Line

**Description:**

This frontage is only to be used when a shopfront frontage is required or desired and a cross slop exists on the site that makes access into the shop difficult across the front of the commercial use.

**Size:**

- A) Depth, Clear
- B) Finish level above sidewalk
- C) Distance between stairs
- D) Wall setback from ROW

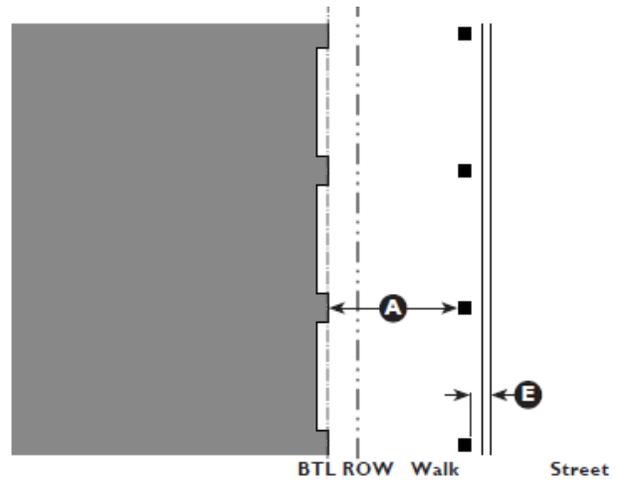
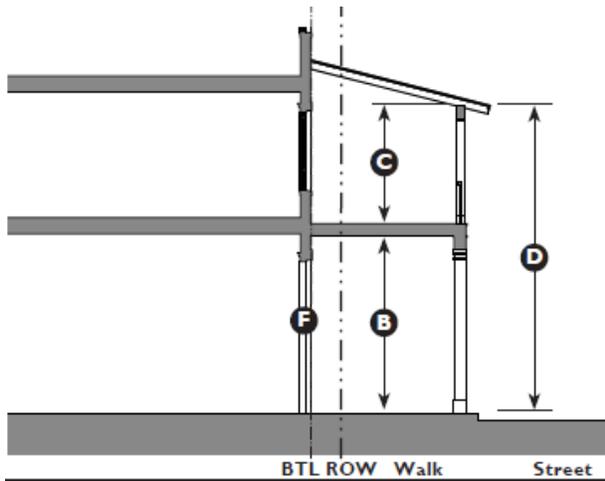
**Misc.**

- E) Terrace shopfronts must also follow all of the regulations for the Shopfront Frontage type.
  - Low walls shall be made into or be able to be used as seating to the maximum extent feasible.



Source: City of Flagstaff, AZ

**Gallery**



**Key**

---- ROW / Property Line

— Build-to Line (BTL)

**Description:**

The main façade of the building is at the frontage line and the gallery element overlaps the sidewalk of the right-of-way. Due to the overlap of the right-of-way an easement is usually required.

**Size:**

- A) Depth, Clear
- B) Ground floor height, Clear
- C) Upper floor height, Clear
- D) Height
- E) Setback from curb

**Misc.**

- F) Galleries must also follow all of the regulations for the Shopfront Frontage type.
  - Galleries must have a consistent depth along a frontage.
  - Gallery must project over a sidewalk.

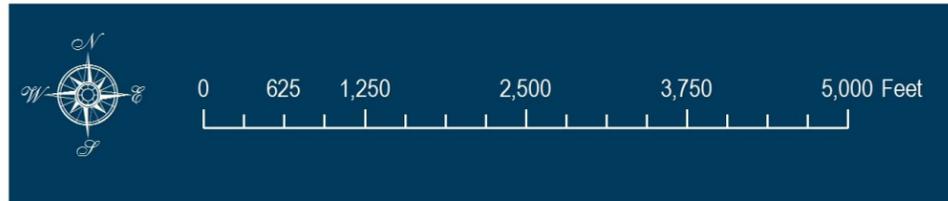
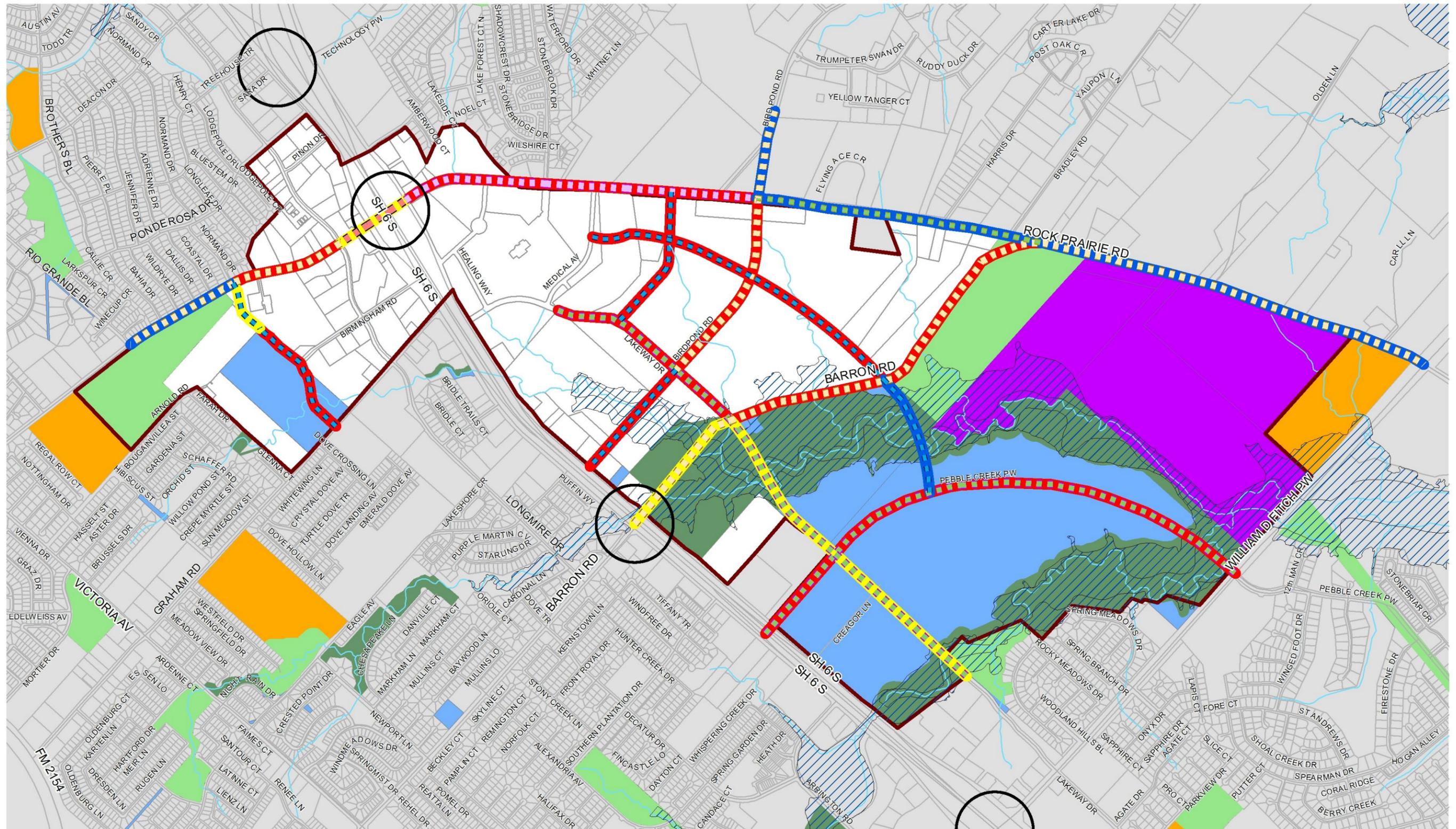


Source: City of Flagstaff, AZ

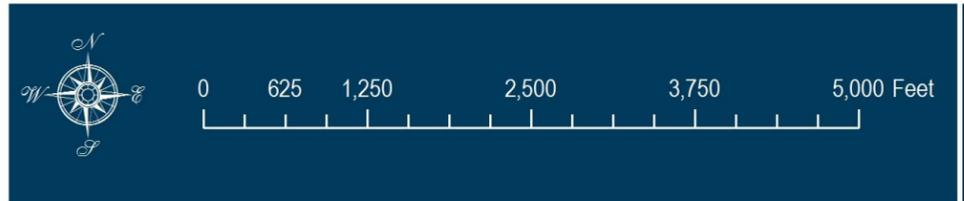
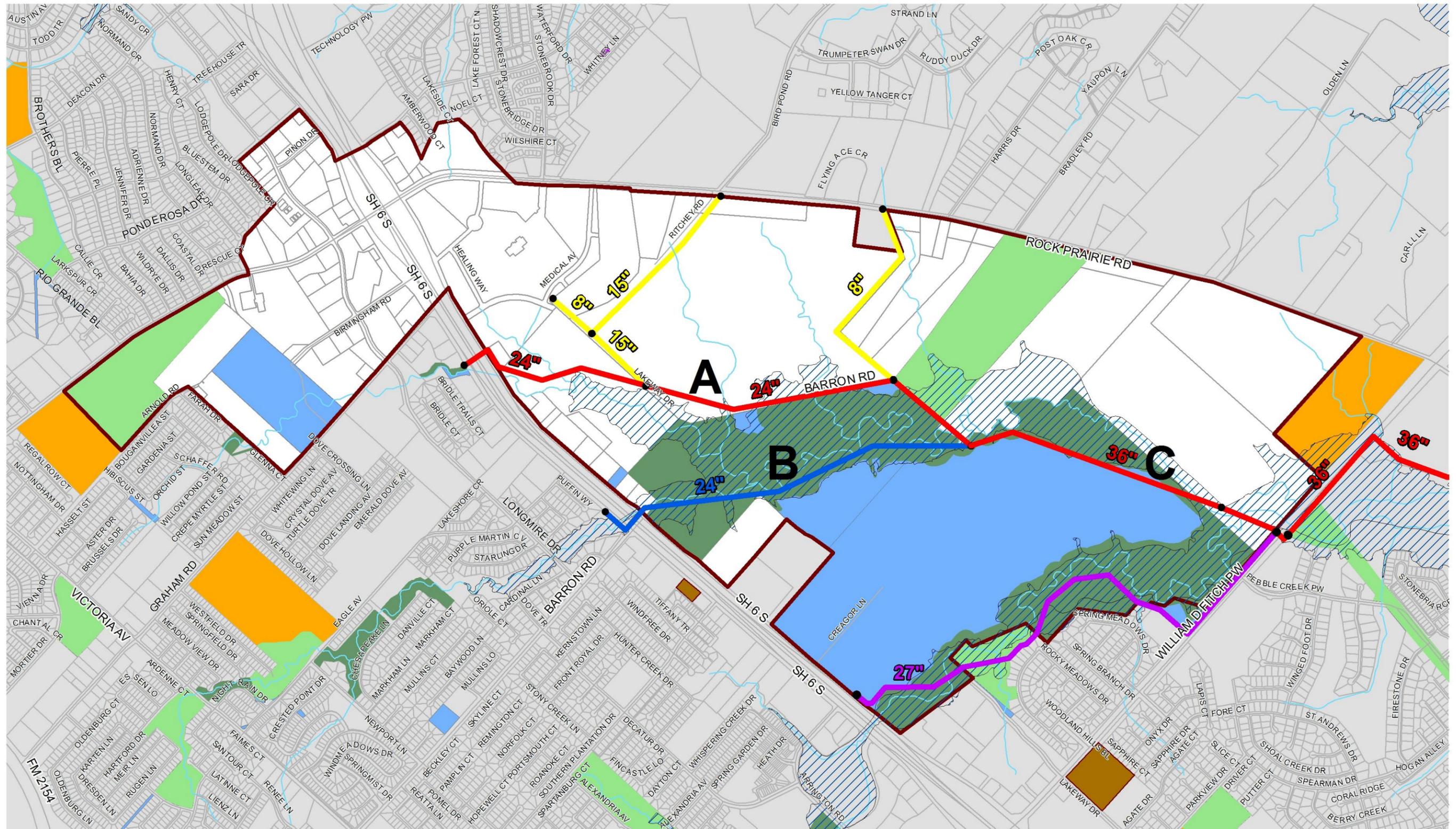
## *Appendix A: Infrastructure Maps*

The following Exhibits support the discussion and information provided in the District Infrastructure and Capital Costs section of this Report.

Not an Ordinance-For Discussion Only

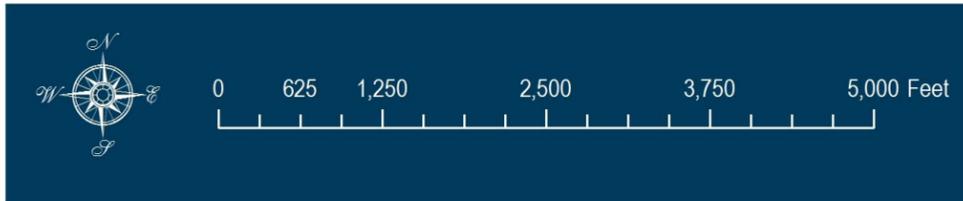
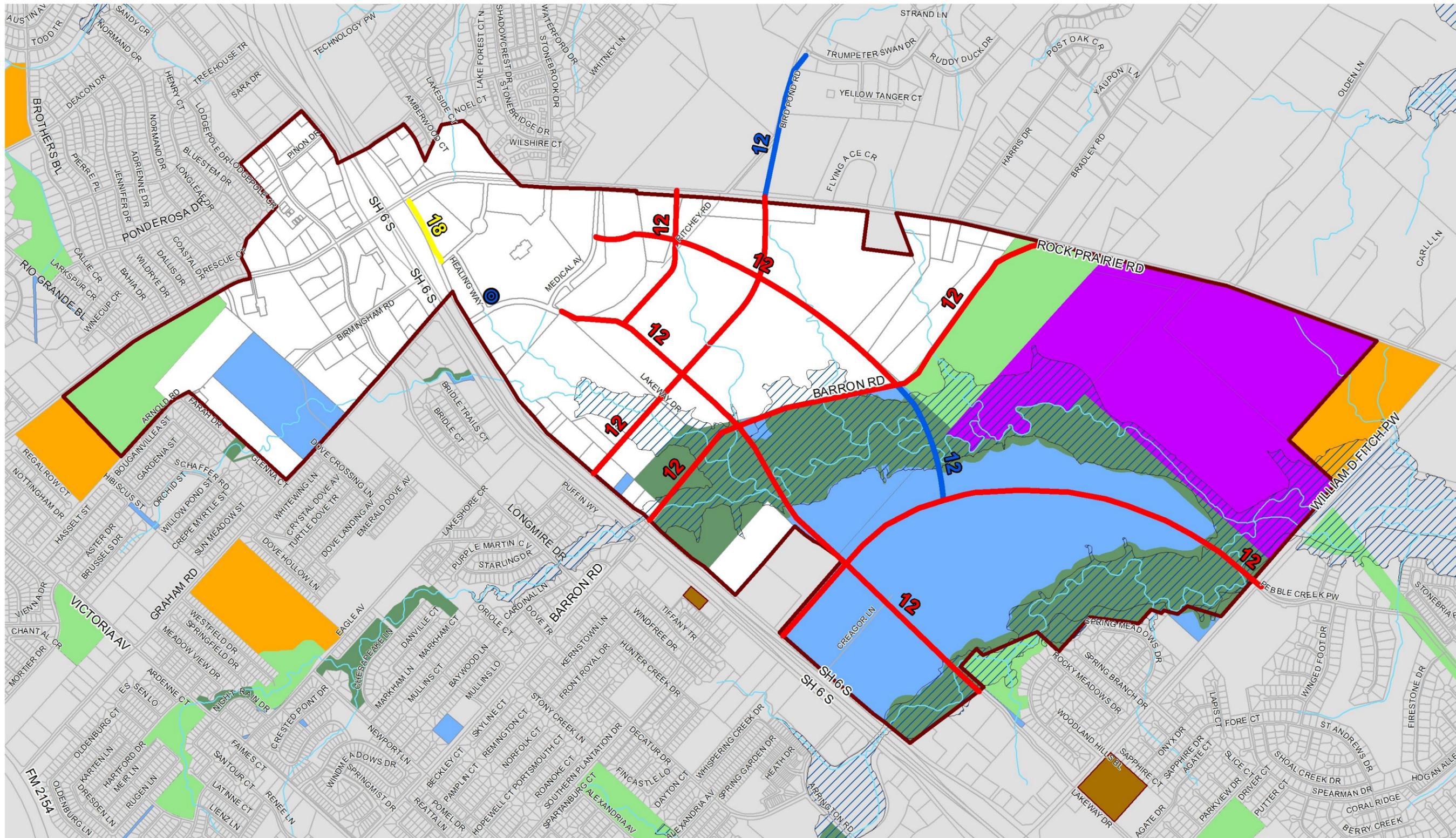


Legend			
	6 Lane Major Arterial		Funded
	4 Lane Major Arterial		Unfunded (Within 10 Yrs)
	4 Lane Minor Arterial		Future (Beyond 10 Yrs)
	4 Lane Major Collector		Medical District
	2 Lane Major Collector		Brazos Valley Solid Waste
	2 Lane Minor Collector		City of College Station
			College Station ISD
			Parks
			100 Yr Floodplain
			Creeks
			Greenways
			Grade Separation



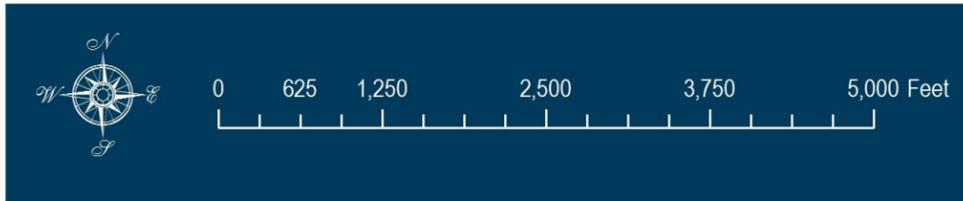
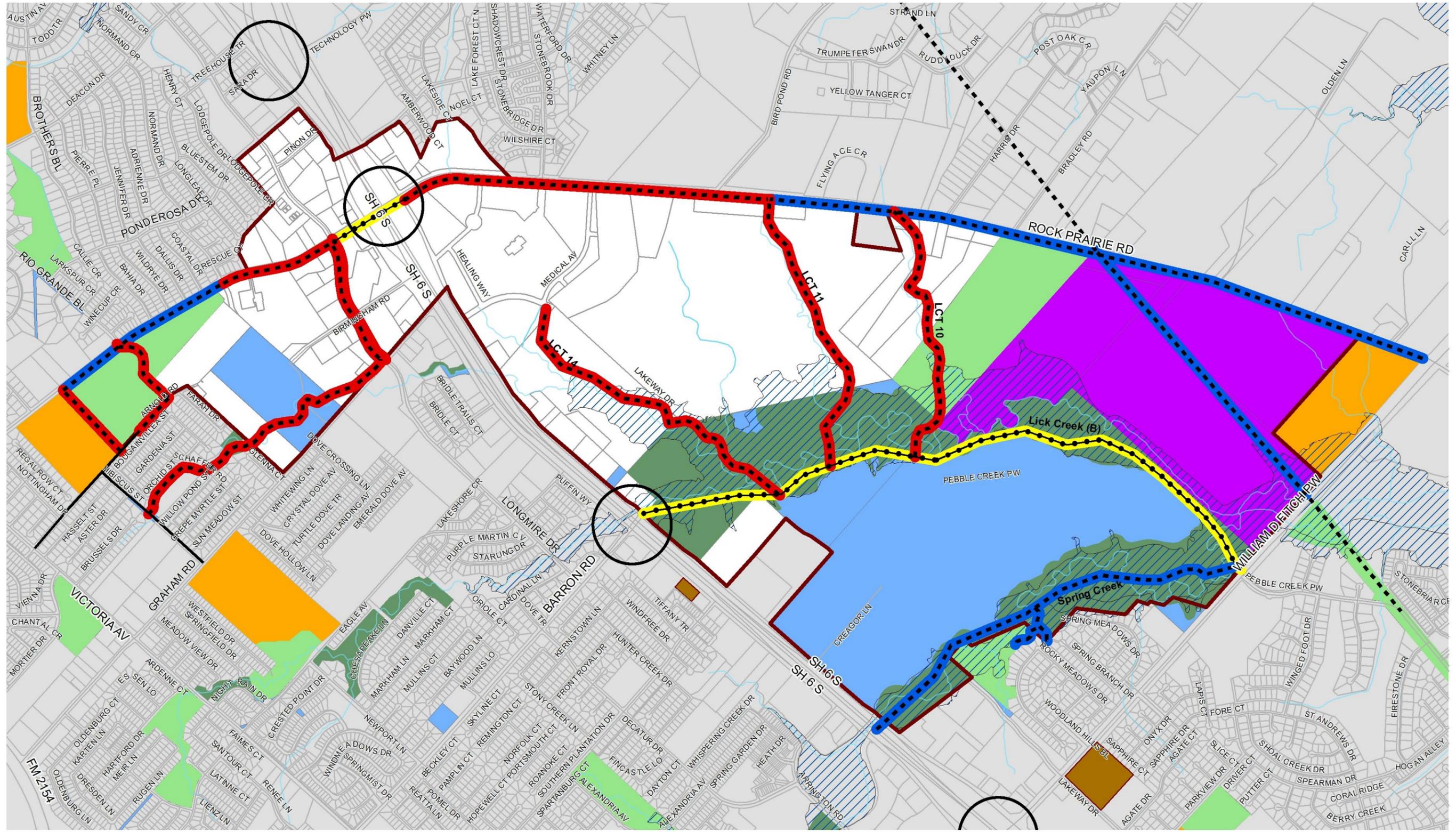
*Legend*

● Existing	■ Medical District	■ Greenways
● Unfunded (Within 10 Yrs)	■ Brazos Valley Solid Waste	■ Parks
● Future (Beyond 10 Yrs)	■ City of College Station	— Creeks
● Privately Funded	■ College Station ISD	▨ 100 Yr Floodplain



*Legend*

<b>Water Lines</b>	<b>Funded</b>	<b>Medical District</b>	<b>Greenways</b>	<b>Water Tower (Beyond 10 Yrs)</b>
<b>Unfunded (Within 10 Yrs)</b>	<b>Brazos Valley Solid Waste</b>	<b>City of College Station</b>	<b>Parks</b>	<b>Creeks</b>
<b>Future (Beyond 10 Yrs)</b>	<b>College Station ISD</b>	<b>100 Yr Floodplain</b>		



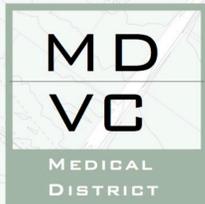
*Legend*

Multi-use Path Existing	Funded	City of College Station	Creeks
Multi-use Path Funded	Unfunded (Within 10 Yrs)	College Station ISD	100 Yr Floodplain
Multi-use Path Proposed	Future (Beyond 10 Yrs)	Greenways	Grade Separation
Medical District	Brazos Valley Solid Waste	Parks	

*Appendix B: Development Plans*

The following Exhibits have been provided by the subject property owner as potential design solutions for this portion of the Medical District. The subject property owner and City staff have worked collaboratively on the design solutions provided in this section, which have both informed and been influenced by the proposed Medical District Land Use Plan. The Exhibits are provided here for illustrative purposes only.

Not an Ordinance-For Discussion Only



**Land Use Legend**

- Medical Office
- Civic
- Commercial Mixed Use
- Residential Mixed Use
- High Density Residential
- Special Residential
- Senior Attached Residential
- Single Family Residential
- General Commercial
- Medical District Boundary

**Commercial Street Frontages Legend**

- A Type A  
Commercial required
- B Type B  
Commercial 50% required
- C Type C  
Commercial not required

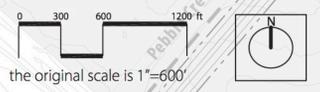
*Note: The sum-total of ground floor commercial frontages on any block should equal the sum of the "A" frontages and 50% of the "B" frontages.*

**Disclaimer:**  
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# Option 1 - Land Use & Street Ground Floor Commercial

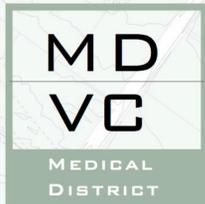
## Medical District Village Center Conceptual Master Plan

August 25, 2012 Draft



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**Land Use Legend**

- Medical Office
- Civic
- Commercial Mixed Use
- Residential Mixed Use
- Medium Density Residential
- Special Residential
- Senior Attached Residential
- Single Family Residential
- General Commercial
- Medical District Boundary

**Commercial Street Frontages Legend**

- A Type A  
Commercial required
- B Type B  
Commercial 50% required
- C Type C  
Commercial not required

*Note: The sum-total of ground floor commercial frontages on any block should equal the sum of the "A" frontages and 50% of the "B" frontages.*

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# Option 2 - Land Use & Street Ground Floor Commercial

## Medical District Village Center Conceptual Master Plan

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